



Agenda

Planning Commission Regular Meeting | 5:30 PM

Wednesday, June 25, 2025

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

Meeting Access Information and Public Participation:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/89476448369>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 894 7644 8369

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

- 1. Call to Order**
- 2. Roll Call and Pledge of Allegiance**
- 3. Approval of Regular Agenda**
Opportunity for amendment or deletions to the agenda.
- 4. Approval of Minutes**
 - A. June 11, 2025**
- 5. Declaration of Conflicts of Interest**
- 6. Public Comment**
Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.
- 7. Special Presentations**
Presentations are limited to 5 minutes. Invited presentations are limited to 10 minutes if prior arrangements are made with the Town Clerk.

- 8. Design Review and Land Use Public Hearings**
 - A. 302 Main Street - Addition to a Single Family Residence
 - B. 0020-0022 Abby Road - New Duplex Residence
- 9. Discussion / Direction Items**
- 10. Staff Reports**
 - A. Manager's Report
- 11. Planning Commission Comments**
- 12. Future Meetings**
 - A. July 9, 2025
 - B. July 23, 2025
- 13. Adjourn**



Official Minutes

Planning Commission Regular Meeting | 5:30 PM

Wednesday, June 11, 2025

Town Hall / Council Chambers - 302 Pine St Minturn, CO

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Meeting Access Information and Public Participation:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/88245309236>.

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 882 4530 9236

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. Call to Order

Lynn Teach called the meeting to order at 5:30 p.m.

2. Roll Call and Pledge of Allegiance

Planning Commission Chair Lynn Teach, and Planning Commission Members Jeff Armistead, Michael Boyd, Amanda Mire, Eric Rippeth, and Darell Wegert.

Staff Members Present: Town Manager Rob Gutierrez, Planning Director Scot Hunn, Economic Development Coordinator Cindy Krieg, and Planner II Madison Harris.

3. Approval of Regular Agenda

Opportunity for amendment or deletions to the agenda.

Motion by Amanda M., second by Eric R., to approve the agenda as presented. Motion passed 5-0.

Note: Eric R. is attending in his status as an alternate.

4. Approval of Minutes

A. May 28, 2025

Amanda M. stated that on pg 8 Jen Bianchi’s comment didn’t make much sense and asked to revise it.

Motion by Eric R., second by Michael B., to approve the minutes of May 28, 2025 as amended. Motion passed 5-0.

Note: Eric R. is attending in his status as an alternate.

5. Declaration of Conflicts of Interest

No conflicts of interest.

6. Public Comment

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

No public comment.

7. Special Presentations

Presentations are limited to 5 minutes. Invited presentations are limited to 10 minutes if prior arrangements are made with the Town Planner.

A. DDA Plan of Development Workshop – Krieg

Cindy K. gave her presentation giving the history of the Downtown Development Authority (DDA) formation, the appointing of the board, and the Plan of Development. She solicited participation from members of the Planning Commission for the workshop that will be done in the fall over two and a half days.

Amanda M. asked if this will affect Minturn Forward.

- Scot H. said that the two need to work together, but it shouldn't impact the update.
- Amanda M. asked if this will affect the approvals processed in the 100 Block.

Michael B. wants to reemphasize that any incentives should not be touching setbacks.

- Cindy K. stated that the Plan will not affect any design guidelines.

Lynn T. asked Cindy K. to explain how the funding mechanism works.

Michael B. asked about the Town funding the DDA

- Cindy K. stated that the Town is providing the initial funding, but once they start getting revenue the goal is to have them be self-sufficient. The Town can loan the DDA money in the future if needed that the DDA would need to pay back.

Lynn T. would like to emphasize public outreach and how important it is.

Darell W. asked about who was on the DDA Board.

Rob G. explained TIF more.

8. Design Review and Land Use Public Hearings

A. 0111 Miles End Lane - New Single Family Residence

Madison H. introduced the agenda item. This is a three-bedroom, 3,342 square foot single family home measured to the midpoint of the roof at 27 feet under the 28 foot height limit. Parking is adequate, with four off-street spaces, two of which are provided in the garage which is allowed per the approved PUD Guide. All setbacks are respected and the proposal is under the allowable lot and impervious coverage

limitations. They have more snow storage than is required by the code at 372 square feet. Staff has identified no issues and recommends approval of the plans.

Amanda M. likes the white house.

Darell W. commented that the four foot perimeter around the buildings should be made up of non-combustible materials.

Public comment opened.

No public comment.

Public comment closed.

Motion by Amanda M., second by Michael B., to approve 0111 Miles End Lane – New Single Family Residence as presented. Motion passed 5-0.

Note: Eric R. is attending in his status as an alternate.

Note: Jeff A. left the meeting at 6:10 p.m.

B. 0071 Miles End Lane - New Single Family Residence

Madison H. introduced the agenda item. This is a four-bedroom, 3,745 square foot single family home measured to the midpoint of the roof at 27 feet 4 and $\frac{3}{4}$ inches, under the 28 foot height limit. Parking is adequate, with four off-street spaces, two of which are provided in the garage which is allowed per the approved PUD Guide. All setbacks are respected and the proposal is under the allowable lot and impervious coverage limitations. They have more snow storage than is required by the code at 378 square feet. Staff has identified no issues and recommends approval of the plans.

Darell W. commented that the four foot perimeter around the building should be made up of non-combustible materials.

Public comment opened.

No public comment.

Public comment closed.

Motion by Michael B., second by Darell W., to approve 0071 Miles End Lane – New Single Family Residence as presented. Motion passed 5-0.

Note: Jeff A. is excused absent.

9. Discussion / Direction Items

10. Staff Reports

A. Interim Managers Reports

11. Planning Commission Comments

12. Future Meetings

A. June 25, 2025

Eric R. will not be here.

B. July 9, 2025

13. Adjourn

Motion by Amanda M., second by Darell W., to adjourn the regular meeting of June 11, 2025 at 6:23 p.m. Motion passed 5-0.

Note: Jeff A. is excused absent.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director



Design Review Board Hearing

Final Plan Review for Addition to Single Family Residence

302 Main Street

Hearing Date:	June 25, 2025
File Name and Process:	Addition to Single-Family Residence Final Plan Review
Owner/Applicant:	John Woodruff & Lynn Feiger
Representative:	Robert Creasy, RDC Architecture
Legal Description:	Subdivision: BOOCO Block: G Lot: 1 Thru Lot: 3 PT OF
Address:	302 Main Street
Zoning:	Old Town Character Area – Mixed-Use Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval, with conditions

Staff Report

I. Summary of Request:

The Applicants, John Woodruff and Lynn Feiger, request Final Plan review of a new 1,873 (gross) square foot garage addition to a single-family residence located at 302 Main Street in the Old Town Mixed-Use Zone District. The Applicants have been proactive in meeting with Town staff prior to submitting plans for the addition and has provided a relatively complete and thorough set of site, and architectural plans.

Proposed Plans

The plans show a two-story, garage addition with a maximum building height - measured to the midpoint of the roof – of 23 feet 11 inches measured to existing grade which is the most restrictive, under the maximum allowable 28-foot limit within the Old Town Mixed-Use Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is more than adequate, with three off-street spaces, two in the garage and one in the driveway. The plans show the first floor with the parking area and the second floor has storage areas.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval with conditions**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new addition to a single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) *Administrative procedure.*

(1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 302 Main Street meet or can be revised to meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

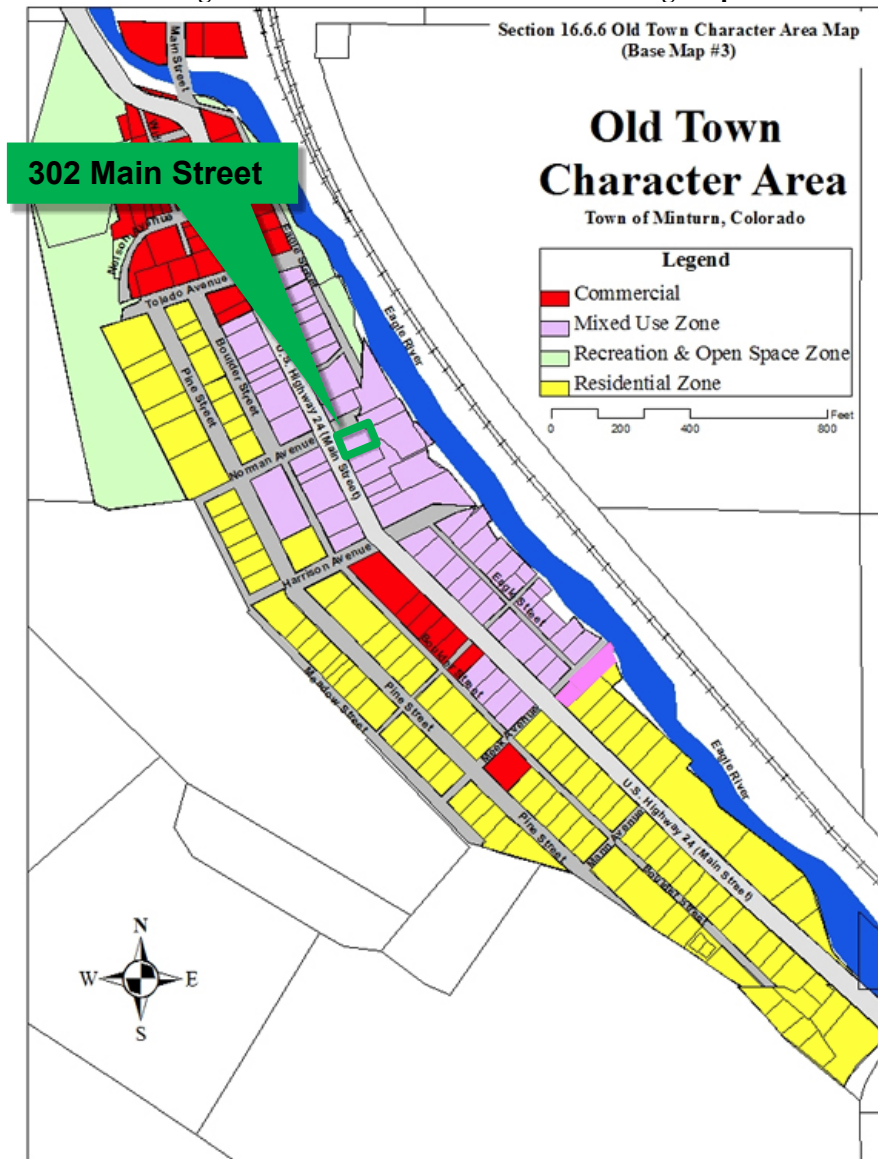
Zoning

The subject property is located within the “Old Town Character Area” Mixed-Use Zone District, described as follows:

- (a) This area allows a compatible **mix of residential uses**, low-impact commercial uses and institutional uses that serve residents and visitors. The Old Town Mixed-Use Zone can accommodate various types of development if found not to significantly impact nearby properties.*
- (b) The Old Town Mixed-Use Zone is intended to provide sites for combined residential and low-impact commercial and service uses which maintain a predominantly residential appearance. **This area can accommodate reasonable growth** where land and services are available and when services and amenities are needed for residents and visitors.*

Rest of page left intentionally blank

Figure 1: Old Town Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Minturn North PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	5,000 sq. ft.	5,579 sq. ft. (.128 ac.) * (4,938 sq. ft. (.113 ac.)) *
Maximum Building Height:	28 feet	23 feet – 11 inches
Minimum Front Setback:	10 feet	10 feet+ (not being altered)

Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	12 feet – ½ inch
Maximum Lot Coverage:	45% (2,510.55 sq. ft.) 45% (2,222.1 sq. ft.)	2,090 sq. ft. (37.46%/42.32%) Proposed
Maximum Impervious Coverage:	55% (3,068.45 sq. ft.) 55% (2,715.9 sq. ft.)	2,668 sq. ft. (47.82%/54.03%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (5,579 sq. ft. x .05 = 278.95 sq. ft.) (4,938 sq. ft. x .05 = 246.9 sq. ft.)	448 sq. ft.
Parking:	2 spaces	3 spaces

* A portion of the lot is covered by an access easement that services 344 and 382 Eagle River Street. While the total lot area is 5,579 sq. ft., the useable lot area is 4,938 sq. ft. As such, staff is showing building and impervious coverage percentages and snow storage based on each lot area (total and effective) in order to be as transparent as possible.

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the

adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

The Town Engineer has provided comments in the attached letter. In regards to the first comment about the survey, per the Town Engineer this can be addressed at building permit. The next two comments in regards to the Architectural plans referencing Archibeque’s survey instead of Kipp’s have already been addressed.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 302 Main Street generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval with conditions** of the plans.

1. The Applicant shall address all comments in the Town Engineer’s letter dated June 10, 2025 prior to building permit issuance.

June 10, 2025

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 302 Main Street
A Portion of Lot 1, 2 & 3, Block G of Booco's Addition to the Town of Minturn
DRB Resubmittal Review
Project No. 25-0001

Dear Madison:

We reviewed the plans entitled "Woodruff Feiger Garage Parcel #2103-263-04-007; 302 Main Street, Minturn, CO 81645" dated March 17, 2025, and a March 17, 2025 reply to our previous review prepared by Robert D Creasy Architecture (Plans) included in the **June, 6, 2025** revised DRB application for 302 Main Street. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through i: "Improvement Survey Plat with Topography; Portion of Lot 1, Lot 2, and Lot 3, Booco's Block G" prepared by Kipp Land Surveying, June 4, 2025, was provided as the Boundary and Topographical Survey for this application.

We offer the following comments:

- a. This survey replaces the February 2, 2025 "Improvement Survey; Part of Booco's Block G Lot 1-3; Town of Minturn, County of Eagle, State of Colorado" prepared by Archibeque Land Consulting Ltd, and as such all comments regarding the previously submitted survey have been deleted.
- b. Note 4 of the Kipp Survey states "No Title Commitment provided for this survey". The Archibeque survey not 2 referenced "title commitment no V50074124, DATED 3-18-2025. We recommend this Commitment be provided to Kipp and the survey is updated to reflect any added information prior to the Building Permit Submittal.
- c. **The Kipp Survey is suitable for DRB review.**

Section (C) (3) Site Plan:

Sheet L101 of the Plans is the "Site and Plot Plan". The following elements from the MMC should be added:

- a. Paragraphs a, b, and c: ~~The Site Plan should show dimensioned property lines, building dimensions, easements, setbacks, and dimensions locating the building on the property.~~
3/25/25 – Resolved.

Madison Harris

Re: 302 Main Street

A Portion of Lot 1, 2 & 3, Block G of Booco's Addition to the Town of Minturn

DRB Resubmittal Review

Project No. 25-0001

- b. Paragraph d - ~~It appears the existing building will be demolished — a Demolition Plan should be included.~~ **3/25/25 - Resolved**
- c. Utility connections should be shown – Utility Note 4 specifies HDPE pipe – The Town requires copper service lines. ~~3/25/25 — Utility note was revised to specify copper service line, however, it states a minimum depth of 4 feet. Minimum cover for water service lines is 7 feet.~~ **6.10.25 Resolved**
- d. **The plans are suitable for DRB review; however, the Architectural plans refer to the previous Archibeque survey. The surveyor of record needs to be revised, and the plans updated to reflect information based on the Kipp survey prior to submittal for Building Permit.**

Section (C) (4) Grading & Drainage Plan:

Sheet A100 of the Plans “*Foundation & Drainage Plan Notes and Specifications*” presents the proposed site grading. ~~The following elements from the MMC should be added:~~

- a. Paragraph c. requires “*Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.*” ~~3/25/25 - Resolved~~
- b. Paragraph d. requires: “*Top of foundation elevations. The top of foundation elevation must be shown on the plan and must be consistent with the foundation plan.*” ~~3/25/25 - Resolved.~~
 - i. Spot elevations are shown relative to the finished floor and need to be relative to the topographic survey. ~~3/25/25 - Resolved~~
- e. Grading does not meet the requirements of Section 1804.4 of the IBC. The minimum recommended slope away from foundations is 5% and the minimum slope of a landscaped swale is 2%. ~~3/25/25 - Resolved~~
 - ii. ~~It may be necessary to raise the building to meet Code requirements.~~
- c. ~~No Erosion control is provided.~~ **3/25/25 – Resolved**
- d. **The plans are suitable for DRB review; however, the Architectural plans refer to the previous Archibeque survey. The surveyor of record needs to be revised, and the plans updated to reflect information based on the Kipp survey prior to submittal for Building Permit.**

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. The Town and Inter-Mountain Engineering are relying on the design professional's work and review by Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project. Please feel free to contact us if you have additional questions.

Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Scot Hunn, Arnold Martinez, Ivan Martin PLS



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

WOODRUFF/FEIGER GARAGE

Project Location

Street Address:

302 MAIN ST., MINTURN

Zoning:

MXED USE-OLD TOWN CHARACTER AREA

Parcel Number(s):

2103-263-04-007

Application Request:

REMOVAL OF ONE EXISTING SITE
REPLACE WITH GARAGE

Applicant:

Name:

JOHN "WOODY" WOODRUFF

Mailing Address:

PO Box 910, MINTURN, CO 81645-0910

Phone:

303 898-7870

Email:

woodruffwoody@comcast.net

Property Owner:

Name:

JOHN WOODRUFF & LYNN FEIGER

Mailing Address:

PO Box 910, MINTURN, CO 81645

Phone:

303 898-7870

Email:

woodruffwoody@comcast.net

Required Information:

Lot Size:

4938 SF

Type of Residence (Single
Family, ADU, Duplex)

GARAGE

of Bedrooms

0

On-site Parking Spaces

1

of Stories:

2

Snow storage sq ft:

301 SF

Building Footprint sq ft:

1122 SF

Total sq ft Impervious Surface:

2668 SF

Signature:

J. Woodruff

Fee Paid:

Date Received:

Planner:

WOODRUFF ENTERPRISES, LLC.
PO Box 910
344 Eagle River Street
Minturn, CO 81645-0910
303 898-7870
woodruffwoody@comcast.net

TOWN OF MINTURN
Planning and Zoning Department
Box 309
302 Pine Street
Minturn, CO 81645
970 827-5645
Planner1@minturn.org

RE: John Woodruff and Lynn D. Feiger propose to build a Garage on the lot at 302 Main in Minturn.

To Planning and Zoning Board,

Lynn and I are proposing to build a 2 story Garage adjacent to our driveway. This interior space will be used for vehicle and boat storage, provide me a shop and Lynn a place to paint. The second floor is mostly for storage.

The Garage will replace an existing shed on the back of the lot. The site is nearly flat with a slight slope to the north. The building footprint is within the existing setbacks. The lot is not within 50 feet of the Eagle River or any water body.

The building's orientation is similar to the existing shed. The Garage's roof sheds snow only to the west and onto the lot, avoiding any walkways. The front of the garage faces east. Windows take advantage of the solar gain of the morning light. We have set aside areas for required snow storage.

The exterior siding will be Western Cedar lap siding and shingles. The roof will be Class A, 16 gage, corrugated steel with a Kynar grey coating. The window and door trim will be in red or blue. Our goal is that the garage will coordinate with the existing look of the other structures that we have built within our property.

Any changes that come up as we continue to refine the plan, apply for permits and build the Garage will be brought before Planning and Zoning for approval.

Thank you for your time and consideration,

Woody Woodruff

IMPROVEMENT SURVEY PLAT WITH TOPOGRAPHY
PORTION OF LOT 1, LOT 2 AND LOT 3,
BOOCO'S ADDITION TO MINTURN, BLOCK G

SITUATED IN SECTION 26, TOWNSHIP 5 SOUTH
RANGE 81 WEST, 6TH P.M.
TOWN OF MINTURN, COUNTY OF EAGLE, STATE OF COLORADO

PROPERTY DESCRIPTION:

A PORTION OF LOT 1, LOT 2 AND LOT 3, BLOCK G, BOOCO'S ADDITION TO THE TOWN OF MINTURN, COLORADO, DESCRIBED IN REC.NO. 764674, AND EXCEPTING OUT A PUBLIC ALLEY RIGHT OF WAY DESCRIBED IN REC.NO. 200610824, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID BLOCK G; THENCE N. 62° 40' 00" E. 52.02' ALONG THE NORTHERLY LINE OF SAID LOT 1 TO THE SOUTHERLY RIGHT OF WAY OF SAID PUBLIC ALLEY; THENCE ALONG SAID PUBLIC ALLEY THE FOLLOWING THREE (3) COURSES:

- 1) 17.84' ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 20.00', A CHORD BEARING N. 88° 12' 30" E. AND CHORD LENGTH 17.25';
- 2) S. 66° 15' 00" E. 22.19';
- 3) 38.26' ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 58.00', A CHORD BEARING S. 47° 21' 19" E. AND CHORD LENGTH 37.57';

THENCE LEAVING SAID PUBLIC ALLEY, S. 62° 40' 00" W. 94.39' TO THE EASTERLY RIGHT OF WAY OF U.S. HIGHWAY 6; THENCE ALONG SAID HIGHWAY, N. 27° 20' 00" W. 60.00' TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINS 0.113 ACRES +-.

NOTES:

1. Date of Survey: May 22, 2025
2. Street Address: 302 Main St.(Posted)
3. Location of improvements, lot lines and easements are based upon plats of record, deeds of record and monuments found at the time of this survey.
4. No Title Commitment provided for this survey.
5. U.S. Survey used for this survey.
6. Benchmark: S280 NAVD88 Datum, published elevation of 7894.20'.
7. 1' Contours shown hereon.
8. Basis of Bearings: An assumed bearing of N. 62° 40' 00" E. between the northwesterly corner Lot 1, Booco's Addition to Minturn, Block G, described in rec.no. 764674, a previously found 1.25" red plastic cap on #5 rebar, LS # illegible being destroyed by construction, reset 3" witness corner and the northeasterly corner of a parcel of land described in rec.no. 764674, a found #5 rebar. All bearings shown hereon relative thereto.
9. All bearings and distances are both field measured and plotted/deeded except as otherwise noted hereon.
10. Notice: According to Colorado Law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

CERTIFICATION:

I, Randall P. Kipp, a Professional Land Surveyor in the State of Colorado, do hereby certify that this land survey plat was prepared for John A. Woodruff and Lynn D. Feiger, and is the result of a survey performed by me or under my direct supervision, responsibility and checking. I further certify that this land survey plat is in conformance with 38-51-106 C.R.S.: minimum standards for land plats, and is based on the land surveyors knowledge information and belief, is in accordance with applicable standards of practice, and is not a guaranty or warranty, either expressed or implied.



Randall P. Kipp P.L.S. #38079
Colorado Professional Land Surveyor

COUNTY SURVEYOR CERTIFICATION:

Deposited this _____ day of _____, 2025, at _____, in Book 1 of the Eagle County Surveyor's Land Survey Plats/ Rights-of-Way Surveys at Page _____. This Land Survey Plat complies with Section 38-51-102, of the Colorado Revised Statutes.

IMPROVEMENT SURVEY PLAT AND TOPO A Portion of Lot 1, Lot 2 and Lot 3, Booco's Addition to Minturn . Block G Sited in Section 26, T.5S., R.81W., 6TH P.M. Town of Minturn, County of Eagle, Colorado	
JOB NO.: 251014	DATE: 6-04-25
SHEET 1 OF 1	DWG NAME: 251014-Lot1-3Part Boocos ISP

KIPP LAND SURVEYING	
RANDY KIPP P.L.S. P.O. Box 3154 Eagle, CO 81631 (970) 390-9540	
email: randy@kipplandsurveying.com web: kipplandsurveying.com	

1/4 CORNER
SECTION 26 AND
27, T.5S., R.81W.,
6TH P.M.
2.5" BRASS CAP
ON 1" PIPE, 1942

3.25" ALUMINUM
CAP IN CAN
LS# 20934
N26° 34' 55"W
499.92'
S63° 25' 05"W
0.98'
1.5" ALUMINUM CAP
ON #5 REBAR
1" WITNESS CORNER
STAMPED CDOT
653

FOUND 1.25" RED PLASTIC CAP
ON #5 REBAR AT CORNER
DESTROYED BY SIDEWALK
REPLACEMENT CONSTRUCTION
RESET 3" WITNESS CORNER
P.O.B.
PERMANENT EASEMENT
NO. PE-9 DEPARTMENT
OF TRANSPORTATION
REC.NO. 201811489
HATCHED AREA

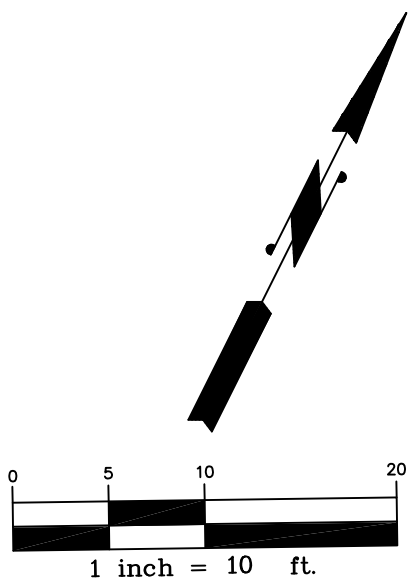
MAIN STREET
U.S. HIGHWAY 24
55' PUBLIC
RIGHT OF WAY
C.D.O.T. PROJECT NO.
STR 0241-062

LEGEND:

- DENOTES SANITARY CLEAN OUT
- DENOTES GAS METER
- DENOTES ELECTRIC METER
- DENOTES STORM INLET
- DENOTES COMMUNICATION PEDESTAL
- DENOTES WATER SHUT OFF
- DENOTES TELEPHONE PEDESTAL
- DENOTES SANITARY MANHOLE
- DENOTES MONITORY WELL
- DENOTES SECTION CORNER AS NOTED
- DENOTES FOUND SURVEY MONUMENT
#5 REBAR
- DENOTES FOUND SURVEY MONUMENT
1.25" RED PLASTIC CAP, ON #5 REBAR,
LS #4551
- DENOTES FOUND SURVEY MONUMENT
1.5" ALUMINUM CAP, ON #5 REBAR
LS# ILLEGIBLE
- C.D.O.T. MONUMENT AS NOTED
- DENOTES SET SURVEY MONUMENT
2" ALUMINUM CAP, ON #5 REBAR,
LS #38079
- DENOTES PROPERTY LINE
- DENOTES ADJOINER LOT LINES
- DENOTES ALLEY RIGHT OF WAY
- DENOTES WOOD FENCE
- DENOTES OVERHANG

PORTION OF LOT 3, LOT 4 AND LOT 5
BOOCO'S ADDITION, BLOCK G
REC.NO. 764675

Curve Table					
Curve #	Radius	Arc Length	Delta	Chord Bearing	Ch. Length
C2	58.00'	38.26'	37°47'35"	S47° 21' 19"E	37.57'
C1	20.00'	17.84'	51°05'38"	N88° 12' 30"E	17.25'



FOUND SURVEY MONUMENT
1.25" RED PLASTIC CAP, ON
#5 REBAR, LS # 4551

1.5" ALUMINUM
CAP IN #5 REBAR
LS#4551

1.25" BRASS CAP
IN CONCRETE
STAMPED CDOT

REC.NO. 661584

REC.NO. 661584
BOOK 671 PAGE 539

PARCEL 1
REC.NO. 764671



GENERAL NOTES:

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4. REFER TO 100 FOR INSULATION, OTHER GENERAL NOTES, SPECIFICATIONS, DRAWING INDEX, AND ABBREVIATIONS.
5. REFER TO 101 FOR FINISHES, LIGHTING, LANDSCAPE, UTILITY, AND OTHER NOTES.
6. REFER TO ARCHITECTURAL PLAN SHEETS (A10X) FOR WALL & ROO DIMS, HEAD & SILL HEIGHTS, AND FINISH SPECS INCLUDING WINDOW AND DOOR SCHEDULES, MECHANICAL PLUMBING AND ELEC. SPECS.
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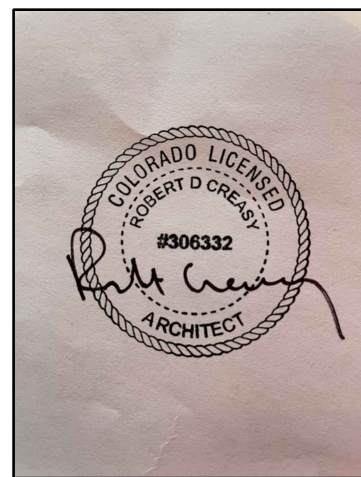
GENERAL CONTRACTOR
Owner Builder

WOODRUFF FEIGER GARAGE

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302 MAIN ST
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OWNER:
JOHN WOODRUFF & LYNN FEIGER

woodruffwoody@comcast.net & lynnfeiger@gmail.com
Woody: 303.898.7870 Lynn: 720.244.3977

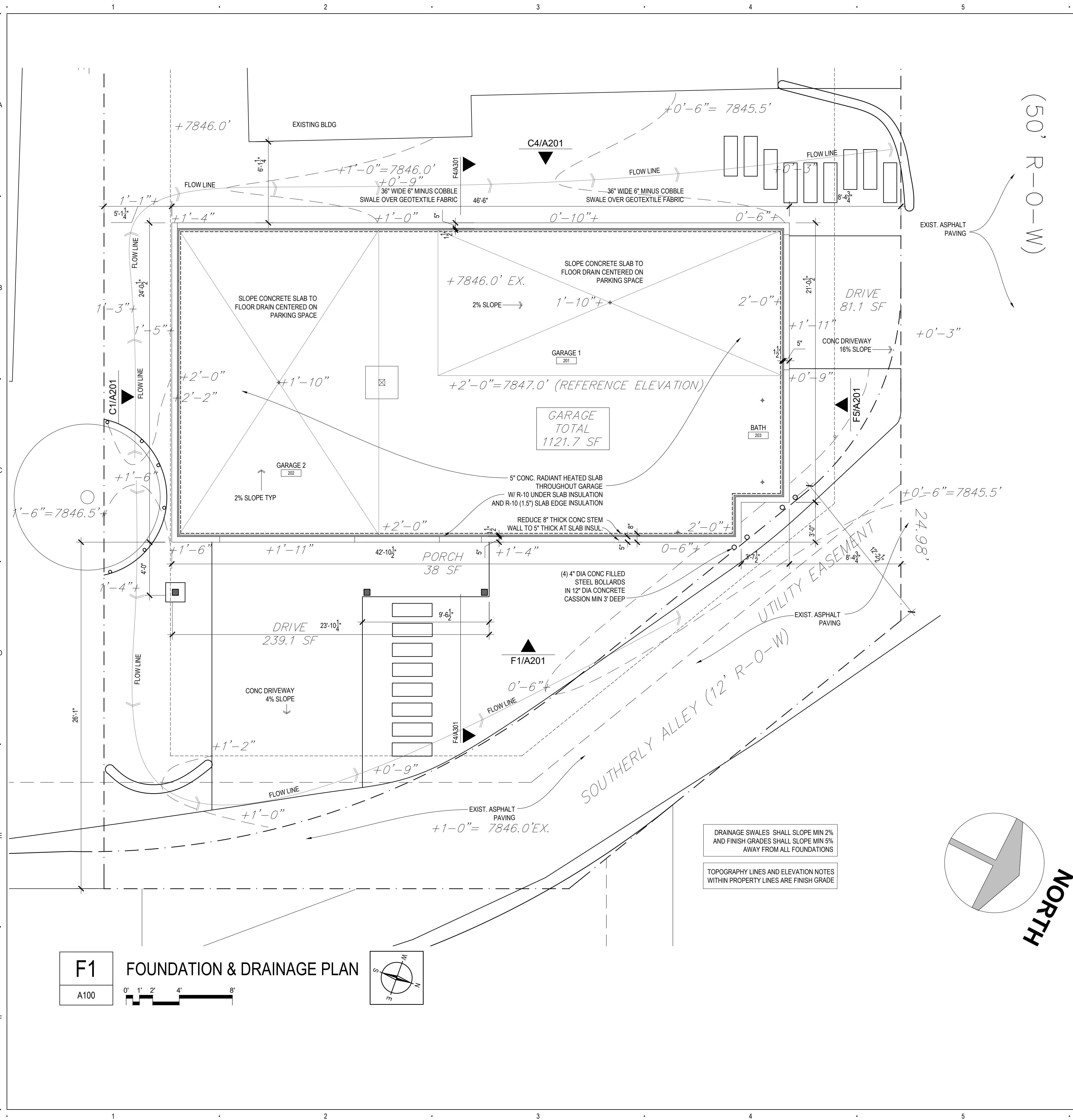


DRB Submittal JUNE 16, 2025
DATE: NOT FOR CONSTRUCTION
PROJECT #: 2420

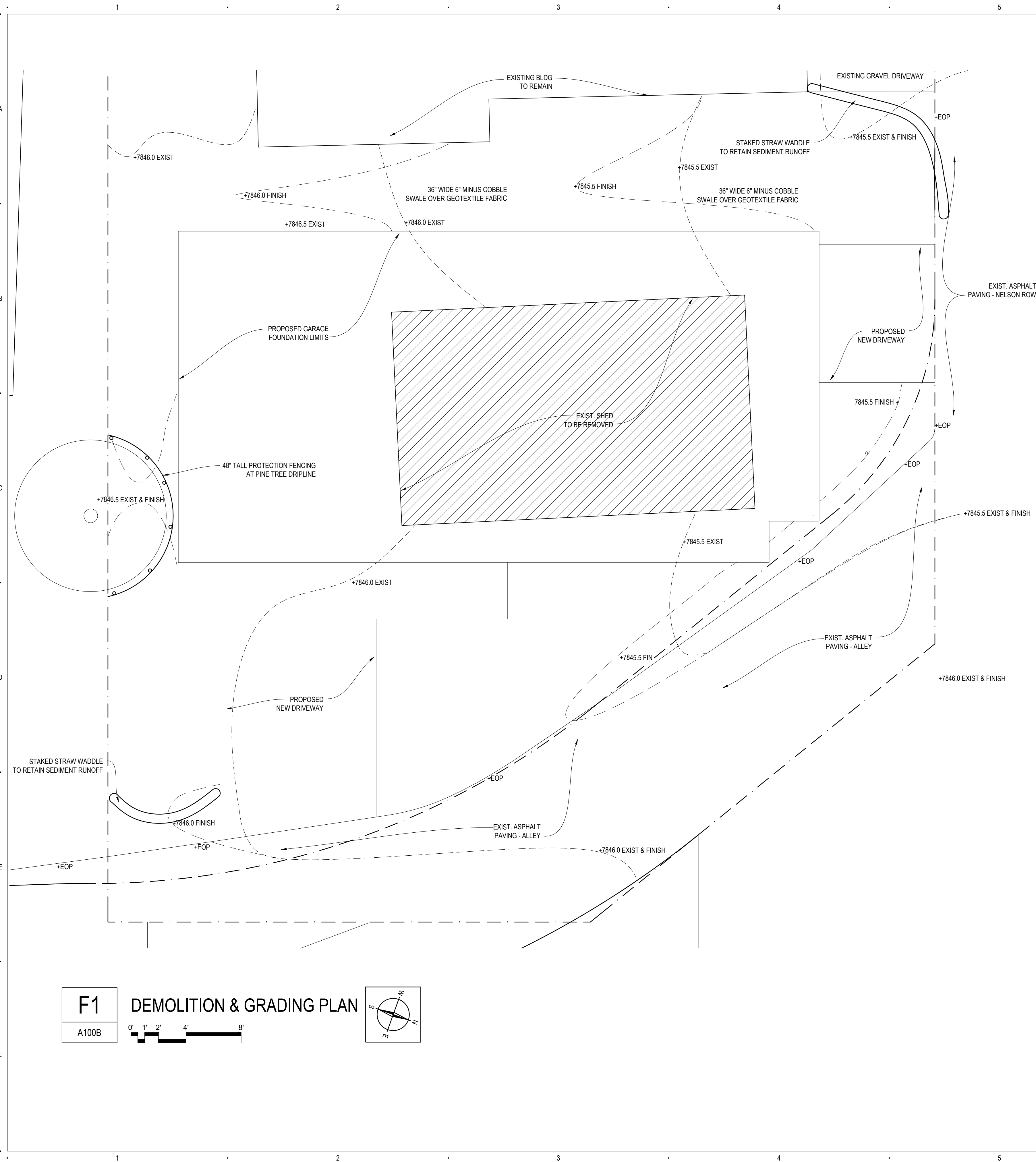
FOUNDATION &
DRAINAGE PLAN
NOTES & SPECIFICATIONS
A100

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F1 FOUNDATION & DRAINAGE PLAN
A100



- DEMOLITION & EROSION CONTROL NOTES:**
1. REMOVE EXISTING SHED STRUCTURE AND ANY FOUNDATIONS (NO ELECTRIC, GAS OR WATER UTILITIES EXIST). SALVAGE OR RECYCLE ANY REUSABLE BUILDING MATERIALS & DELIVER TO RECYCLING CENTER.
 2. EXCAVATE CONTOURS TO PROVIDE DRAINAGE SWALES ON SOUTH AND WEST SIDES OF PROPOSED GARAGE.
 3. STAKE DOWN STRAW WADDLE ROLLS WHERE NEW GRADED DRAINAGE SWALES REACH EXISTING ROADS.
 4. PROVIDE PROTECTION FENCING AT DRIP LINE OF LONE PINE TREE ON SOUTH PROPERTY LINE.
 5. MAXIMUM CUTS & FILLS BEYOND PROPOSED FOUNDATION ARE < 1'-0" WITH MAXIMUM SLOPES < 1V:10H.
 6. MINIMUM 5% GRADE AWAY FROM PROPOSED FOUNDATION FOR MINIMUM 2'-6" HORIZONTAL DISTANCE.
 7. MINIMUM 2% GRADE ALONG DRAINAGE SWALES.
 8. LINE DRAINAGE SWALE UNDER ROOF DRIP LINE AT WEST SIDE OF PROPOSED BUILDING WITH 36" WIDE GEO-TEXTILE FABRIC UNDER 6" MINUS COBBLE STONES - AFTER ROOF IS COMPLETED.
 9. ALL EXCESS SOIL TO BE REMOVED FROM PROPERTY AND DISPOSED AS CLEAN FILL.
 10. ANY LARGE BOULDERS DISCOVERED DURING EXCAVATION OR GRADING TO BE RETAINED ON SITE IN LOCATIONS SELECTED BY OWNER.
 11. DURING DEMOLITION & GRADING OPERATIONS - ROAD RIGHT OF WAY SHALL BE CLEANED DAILY OF ANY DIRT OR WASTE MATERIALS.
 12. ANY DAMAGE TO EXISTING ASPHALT PAVING IN ROW SHALL BE REPAIRED TO TOWN PAVING STANDARDS.

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GEO/SOILS ENGINEER - SPECIAL INSPECTION SERVICES

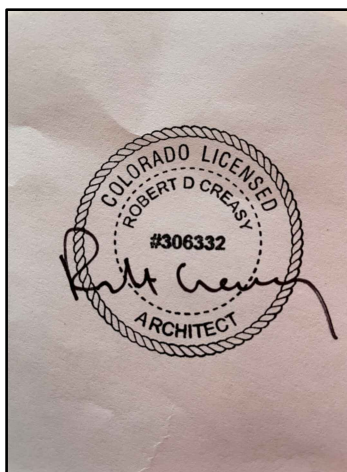
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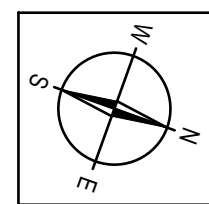
woodruffwoody@comcast.net & lynffeiger@gmail.com
Woody: 303.898.7870 Lynn: 720.244.3977



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EROSION CONTROL & DEMO& GRADING PLAN NOTES & SPECIFICATIONS A100B

A101



Page 21 of 59

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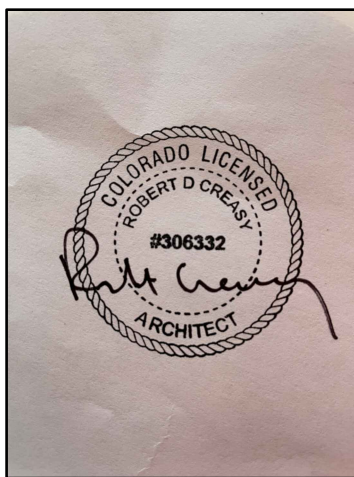
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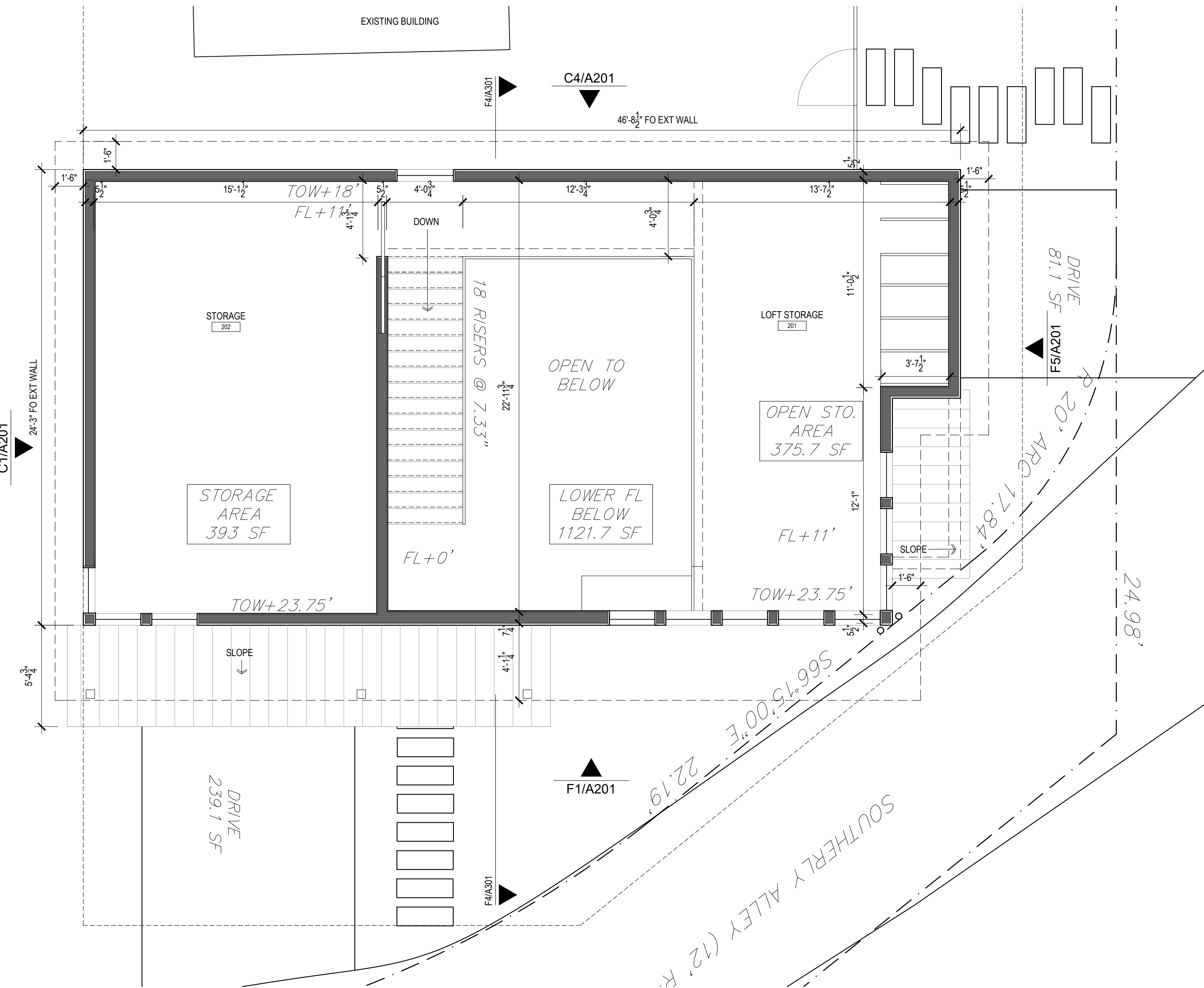
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SECOND FLOOR PLAN
NOTES & SPECIFICATIONS

A102

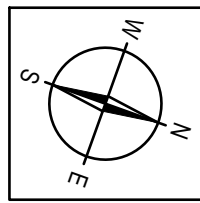
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F1 SECOND FLOOR PLAN

A102



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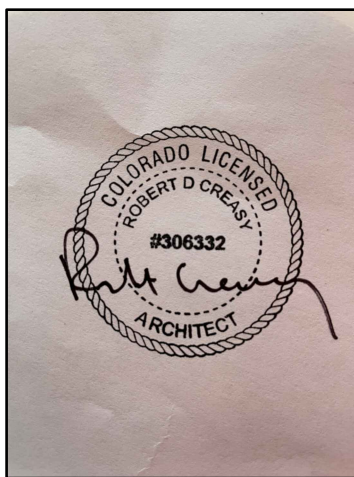
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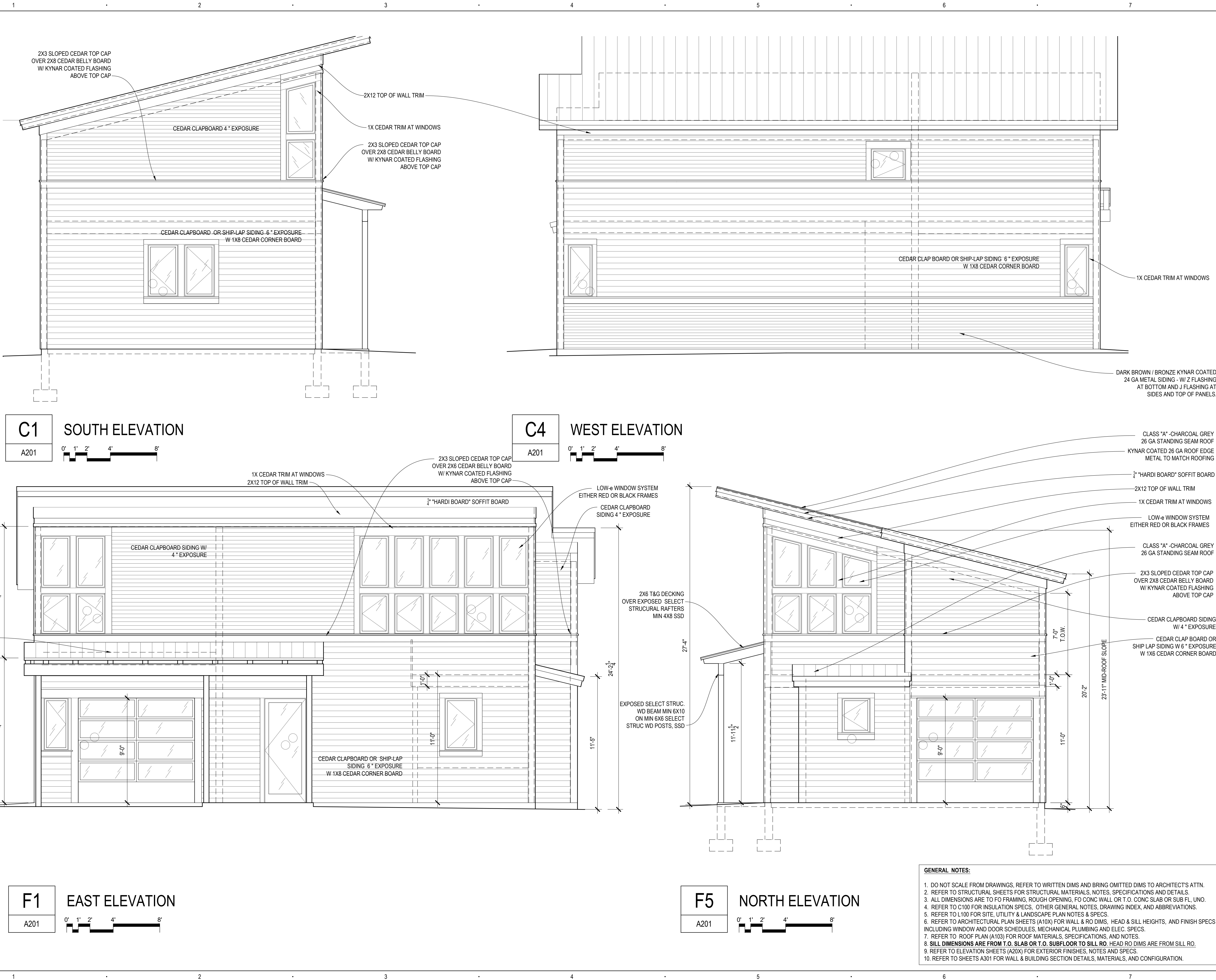
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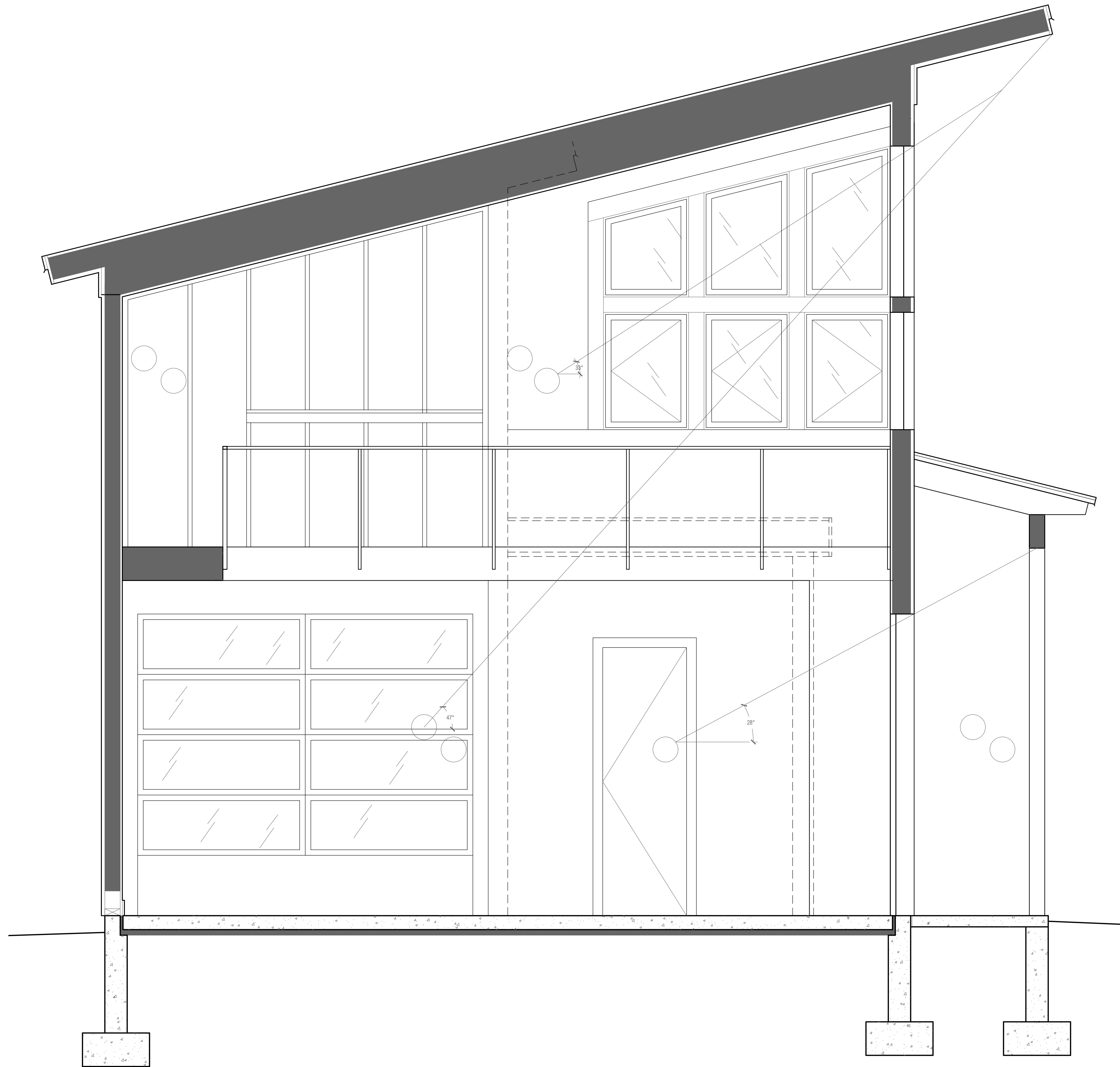
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ELEVATIONS
NOTES & SPECIFICATONS
A201





F1 BUILDING SECTION LOOKING NORTH
A301



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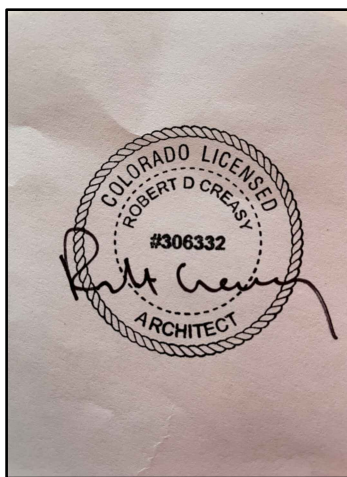
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**BUILDING SECTION
W TO E LOOKING NORTH
NOTES & SPECIFICATONS
A301**









Design Review Board Hearing

Final Plan Review for New Duplex Residence

0020-0022 Abby Road

Hearing Date:	June 25, 2025
File Name and Process:	Duplex Residence Final Plan Review
Owner/Applicant:	Alison Perry, Miners Base Camp LLC
Representative:	Greg Macik, TAB Associates, Inc.
Legal Description:	Subdivision: BELDEN PLACE PUD Lots: 2 and 3
Address:	0020-0022 Abby Road
Zoning:	South Town Character Area – Belden Place PUD Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicant, Alison Perry, requests Final Plan review of a eight bedroom, 6,380 (gross) square foot duplex structure located at 0020-0022 Abby Road in the South Town Belden Place PUD Zone District. The Applicant's representative, Greg Macik of TAB Associates Inc., has been proactive in meeting with Town staff prior to submitting plans for the new structure and has provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a three-story with a basement duplex residence with a maximum building height - measured via a weighted height calculation approved in the Belden Place PUD Guide – of 25 feet and 10 ½ inches, under the maximum allowable 28-foot limit within the South Town Belden Place PUD Zone District for duplex units.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with six off-street spaces, with one unit having two spaces in the garage and two at surface level in front of the garage, and the other unit has one provided within the garage and one at surface level in front of the garage. The plans show the three levels plus a basement.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a duplex residential structure on two legally created lots within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) *Administrative procedure.*

(1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*

(2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*

- a. The proposal's adherence to the Town's zoning regulations.*
- b. The proposal's adherence to the applicable goals and objectives of the Community Plan.*
- c. The proposal's adherence to the Design Standards.*

(3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*

- a. That the proposal is in conformance with the Town zoning regulations.*
- b. That the proposal helps achieve the goals and objectives of the Community Plan.*
- c. That the proposal complies with the Design Standards.*

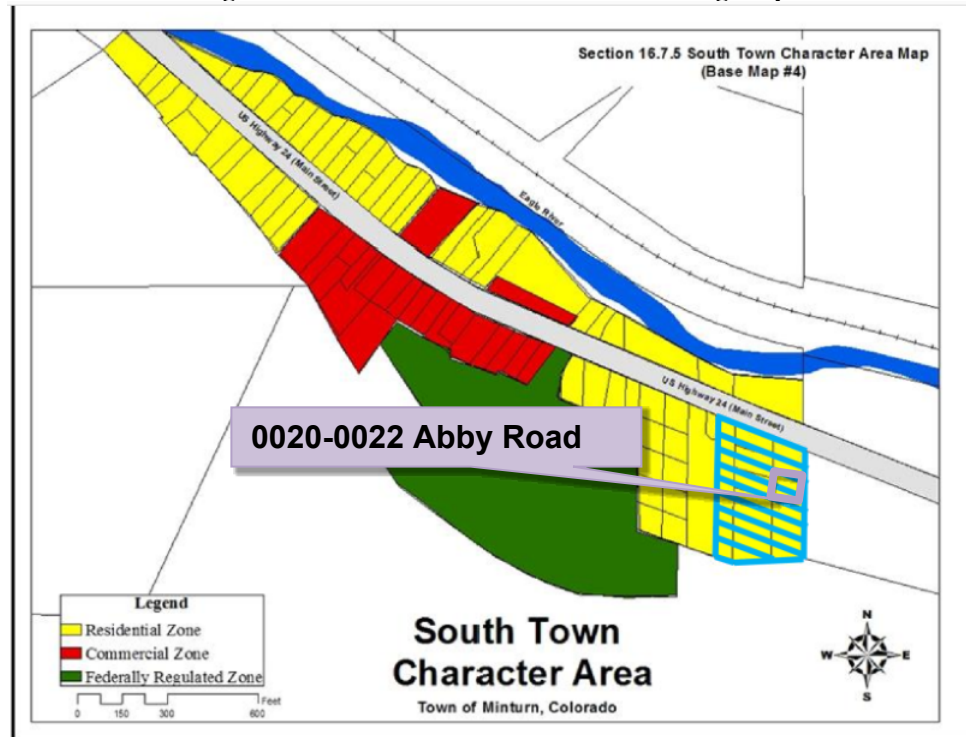
Staff suggests that the final plans for 0020-0022 Abby Road meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

The subject property is located within the “South Town Character Area” Belden Place PUD Zone District

Figure 1: Game Creek Character Area Zoning Map



■ - PUD Overlay Zoning

Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Belden Place PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	3,837 sq. ft.	3,837 sq. ft. (.088 ac.)
Maximum Building Height:	28 feet	25 feet – 10 ½ inches
Minimum Front Setback:	9.63 feet	6+ feet
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	5 feet	5 feet
Maximum Lot Coverage:	70% (2,685.9 sq. ft.)	2,313 sq. ft. (60.28%) Proposed
Maximum Impervious Coverage:	70% (2,685.9 sq. ft.)	2,539 sq. ft. (66.17%) Proposed
Minimum Snow Storage Area:	5% of Lot Area (3,837 sq. ft. x .05 = 191.85 sq. ft.)	210 sq. ft.
Parking:	6 spaces	6 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Items of Note:

Items of Note

Staff has identified no items of note.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0020-0022 Abby Road generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix ‘B’) of the Minturn Town Code.

Staff is **recommending approval** of the plans.

June 10, 2025

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 0020 & 0022 Abby Road
Lots 2-3 Belden Place PUD
DRB Resubmittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled “Belden Place; Lots 2 & 3 – 0020 & 0022 Abby Road, Duplex, Minturn Colorado” prepared May 15, 2025, by TAB Associates (Plans) included in the **June 4, 2025 resubmittal of the** DRB application for Lots 2 & 3, Belden Place PUD. (**Note: the resubmittal was not redated from the original.**) Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

Sheet 3 of 5 of the “Final Plat: Belden Place PUD” has been included as the Boundary Survey. The Plat and associated title commitment were reviewed by the Town and fulfill the requirements as the Boundary Survey for this application.

Paragraphs f through i:

Sheets C.110 and C.111 of the “Belden Place PUD – Final Plan Submittal” prepared by Timberline Engineering have been included in the application. These plans are the basis of the design and fulfill the requirements of paragraph f through i.

- a. ~~Both Sheets are titled “Belden Place – 12 Plex (Flats)”~~. The title should reflect the correct description of this application. **Resolved 6/10/25**

Section (C) (3) Site Plan:

Sheet C1 and C2 of the Plans “Belden Place – Units 2-3 – Duplex” prepared by Timberline Engineering (dated March 24, 2025) presents the proposed site plan. The Site Plan generally complies with MMC requirements.

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net

Madison Harris

Re: 0020 & 0022 Abby Road
Lots 2-3 Belden Place PUD
DRB Resubmittal Review
Project No. 24-0001

Section (C) (4) Grading & Drainage Plan:

Sheet C1 of the Plans "*Belden Place – Unit 1 – Single Family Residence*" prepared by Timberline Engineering (dated February 14, 2025) presents the proposed site grading. a. The Grading & Drainage Plan generally complies with MMC requirements.

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. The Town and Inter-Mountain Engineering are relying on the design professional's work. Review by the Town of Minturn or Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us with additional questions.

Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Scot Hunn, Arnold Martinez, Brad Stempihar



DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT

P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
Phone: 970-827-5645 Fax: 970-827-5545 Email: planner@minturn.org

Project Name:

Project Location

Street Address:

Zoning:

Parcel Number(s):

Application Request:

Applicant:

Name:

Mailing Address:

Phone:

Email:

Property Owner:

Name:

Mailing Address:

Phone:

Email:

Required Information:

Lot Size:

Type of Residence (Single
Family, ADU, Duplex)

of Bedrooms

On-site Parking Spaces

of Stories:

Snow storage sq ft:

Building Footprint sq ft:

Total sq ft Impervious Surface:

Signature:

Fee Paid: _____ Date Received: _____ Planner: _____

DESIGN REVIEW APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant **Staff**

☐☐

Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00

☐☐

Letter of Intent

-- What is the purpose of the project including;

- Relevant Background
- Current Status of the Site
- All Proposed Uses and Structures
- How the Proposal Differs from what already exists
- Information regarding Easements or Dedicated Tracts, etc.

☐☐

Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.

- Zoning of Property

☐☐

Improvement Location Certificate of Survey (ILC or ILS)

☐☐

Site Plan showing Precise Nature of the Proposed Use – To Scale

- - Scaled Drawings of Proposed Design of Structure
 - Plan View and Sections
 - Building Heights – all 4 directions N/S/E/W
 - topography
 - Building Location
 - Setbacks
 - River or Creek Setbacks
 - Parking Plan
 - Traffic Circulation
 - Location and Width of Existing and Proposed Access Points
 - Location of Existing Driveways and Intersections
 - Landscaped Area – Plan
 - Approximate Location of Existing Wooded Areas and Rock Outcrops
 - Location and Type of Existing and Proposed Easements
 - Utility Easements
 - Drainage Features

☐☐

Preliminary Building Plans and Elevations

- Indicates Dimensions
- General Appearance
- Scale
- Interior Plan for the Buildings

☐☐

Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage

☐☐

Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

PLANNING COMMISSION DESIGN REVIEW PROCESS

Applicants requesting a Design Review Board, Planning and Zoning Commission, and/or Town Council Review must submit to a pre-submittal conference and complete a formal application. The pre-submittal review process is completed within a period of 14 working days depending on the day of pre-submittal. The pre-submittal review provides valuable information regarding Town requirements for the formal application.

The Town Planner shall have the following powers and duties:

- **Zoning Compliance** – To review, consider, and approve, approve with conditions, or deny applications for building permits, limited use permits, conditional use permits, and temporary use permits based on compliance with this Section.
- **Process Applications** – To receive applications for development permits for processing pursuant to the terms of Section 16 of the Minturn Municipal Code.

Planning Commission as Design Review Board

Powers and Duties

The Planning Commission is hereby established as the Town of Minturn Design Review Board. The Design Review Board shall have the following powers and duties under the provisions of this Code.

1. To prepare, or cause to be prepared or amended, the Design Review Standards and Guidelines or any element or portion thereof, for adoption by the Town Council.
2. To hear, review, consider and approve, approve with conditions, or disapprove applications for Design Review Approval.
3. To hear and decide upon appeals on design review decisions made by the Zoning Administrator.

Board Procedure

The Town staff will forward applications (other than minor design applications), and recommendations, to the DRB.

The DRB shall review the application and supporting material submitted by the applicant, as well as the staff recommendation. After review, the DRB, through a formal motion, seconded and passed by a majority of the members present, shall take one of the following courses of action:

1. **Table the application.** The application may be tabled for a period not to exceed thirty (30) days if the application is incomplete or if the DRB determines that changes are required to bring the application into compliance with design standards and guidelines or other regulations of the Town. The Board may specify additional requirements for the applicant is to bring to the future meeting. These requirements may include additional information necessary to determine whether the application complies with all zoning, building, design codes adopted by the Town, and may include plans, reports, surveys or other documents completed by registered architects, surveyors, engineers or other professionals in order to indicate conformance with such codes. The DRB may also table the application if it determines that changes in the application are required which would bring the proposed project into compliance with zoning, building, design codes, and other regulations of the Town.
2. **Conceptual/Preliminary approval.** The DRB may grant conceptual approval to applicants who in a general fashion appear to meet design and other regulations of the Town but submit applications inadequate to warrant final approval. Conceptual approvals are also appropriate where a complete application has not been submitted, or where an applicant wishes to obtain a preliminary review of a sketch plan. A conceptual approval does not deem final approval of an application, nor does it deem that an application conforms to design or other regulations, nor shall it bind the DRB to grant final approval to a completed or final application.
3. **Disapproval of application.** If an application is found to conflict with the purposes and/or any one (1) or more of the design guidelines, codes or any other regulations of the Town, the DRB shall disapprove the application. Any disapproval shall be in writing and shall specifically describe the reasons upon which the disapproval is based.

- 4. Approval of application.** If the application is complete and is found to comply with the design standards and guidelines, codes and other regulations of the Town, the DRB shall approve the project. The DRB shall keep a record of all such approvals, and the applicant should keep a copy of the approval. The DRB may approve an application with conditions or modifications. The DRB shall not approve an application that does not meet the requirements of the Town or any other provision required to ensure compliance with the design standards and guidelines, codes and other regulations of the Town.

If a motion for approval, for conceptual approval, or to table an application results in a tie vote, the motion will fail.

DESIGN REVIEW CRITERIA

1. SITE DESIGN

Site planning involves the design and location of buildings and other improvements on a property. General principles include the maximization of site attributes such as views and solar orientation while minimizing adverse impacts to adjacent properties and natural features. Design of the building(s) shall consider the following criteria:

a. Natural Features

(1) Topography

A building site that is flat or gently sloping at less than 10% shall comply with applicable minimum standards for setbacks as defined in Chapter 16.

A building site that slopes at greater than 10% is urged to consider “stepping” the structure rather than grading the site to allow for traditional building layout. The intent is to avoid large cuts and/or fills as well as retaining walls, and to avoid the need for additional erosion control measures.

Setbacks may be increased for lots that slope greater than 30%.

(2) Water Bodies

Setbacks from water bodies shall include consideration of the Eagle River, tributary creeks, ponds, and wetlands. In addition to the regulatory setbacks, the Town of Minturn encourages conformance with the Eagle River Watershed Plan and sensitive design to protect the riparian areas and to utilize the water bodies for passive recreational purposes. The Town discourages “turning your back” on the Eagle River, one of Minturn’s greatest assets.

Site grading and drainage plans shall be submitted with design review applications that are adjacent to or within fifty (50) feet of a water body.

b. Orientation

The orientation of improvements shall consider adjacent properties as well as snow storage, snow shedding, and solar orientation. Another important component of orientation is drainage impact to adjacent properties, water bodies and streets.

Snow Storage, Snow Shedding and Solar Orientation

The atmospheric and weather-related elements common of the Town of Minturn justify the added dimension of siting improvements to minimize the impact of the environment.

Adequate snow storage area(s) or provisions for removal shall be provided. The total area may be broken up or provided as a whole. Location within the required setbacks shall be permitted provided it does not impede adequate and safe access to the structure(s). Landscape areas may also be used for snow storage purposes.

Snow shedding shall be considered in the use of material and pitch of the roof, as well as the location of windows, door and walkways. In no case shall snow shedding be permitted to occur onto an adjacent property.

Solar orientation shall be considered in the siting of the structures as well as in the landscaping of the lot or parcel. Orientation of the structure, as well as placement of trees, can be utilized to block prevailing winds in the winter and to provide shade in the summer. The structure should be placed on the lot in a manner that will not cast substantial

shadows over adjacent properties. Walkway and driveway location shall consider snowmelt in determining their location. These considerations include locating driveways, walkways, and structures, so that they are sheltered from the wind, and oriented to the east or south, where possible, to aid quicker snow and ice melt.

The front of the structure and its primary entrance shall be oriented to the street.

c. Massing and Scale

A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures.

Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.

2. ARCHITECTURAL ELEMENTS

a. Roof Pitch and Form

Roofs are a very prominent visual element and can be used to provide strong unifying characteristics between buildings. The use of consistent roof form, materials, slope and direction can create a cohesive appearance to a neighborhood even when the architectural styles vary. Roof pitch and form are an important element of building design in the Town.

The incorporation of dormers into the roof form can be utilized to provide individual identity and to create and delineate upper living areas or lofts. Dormer roofs shall be similar in slope and material with the primary roof form. See Illustration.

Roofs shall be designed with consideration to snow accumulation and shedding. Entryways, garages and pedestrian areas shall be protected from potential snow shedding.

Chimneys may also be utilized as a unifying element. The size, location, and shape of chimney can be mimicked to provide a common feature in adjacent structures that have different architectural styles.

b. Facade

Vast expanses of a blank facade are not considered appropriate in Minturn due the mass and scale of the existing buildings in the Town. Therefore, facades must be interrupted every 15' at minimum. This interruption can occur through the use of projections and recessions for doors and windows, balconies or porches or any other element that creates visual interest. The use of architectural elements such as horizontal and vertical architectural details and floor articulation (delineation of 'floors' in a building) can be utilized to create a vertical human scale to the structure.

Windows and doors offer the opportunity to provide individual character and refinement of scale by introducing openings and patterns on otherwise blank walls. Consideration should be given to locating doors and windows in order to establish symmetry on primary facades, while being responsive to interior functions and views. The location of windows and doors can also be utilized as a unifying element with adjacent structures.

In order to maintain a smaller scale and to avoid the use of vast expanses of large windows, window openings should be composed of multiple panes of glass that are consistent with the scale of the building. Mirrored or reflective glass is prohibited.

Shutters and window boxes are encouraged to create visual interest and to reinforce the Town ambiance.

c. Building Details

The requirement for a simple building form allows for the introduction of building details to create character and interest. These details may include elements such as accents to doors and windows, porches, gates, dormers and chimneys.

3. MATERIALS AND SCREENING

a. Materials

The use of building materials is essential to the design and appearance of a structure, therefore the use of materials is indicative of the adjacent community character. Materials shall be consistent with adjacent properties and the natural environment. The Town of Minturn does not seek to limit or prohibit the use of specific building materials,

however the use of non-reflective materials are strongly encouraged. Highly reflective roofing materials are not allowed.

The historic character of Minturn is exhibited in the use of wood siding and native stone, therefore the use of these particular materials are encouraged. Many modern equivalents can be found which mimic the natural materials, and the Design Review Board may approve such materials if their appearance is found to be compatible with adjacent material and consistent with the intent of these standards and guidelines.

b. Streetscape and Landscape Design

Small towns evoke many images, but one that appears to be consistent with many residents is the neighborliness of the area. Porches, plaza, parks and simply strolling down the street allow neighbors and visitors to meet and greet each other and to get to know one another. The Town encourages the man-made elements that promote these activities, and in some instances the Design Review Board shall require the provision of streetscape improvements to encourage and reinforce the small town atmosphere.

Porches and awnings are encouraged for all residential design as these elements create and encourage a human scale that is consistent with the small town image. Commercial structures, particularly those that are located in renovated residential units, shall maintain these elements and incorporate the use of pedestrian walkways, street furniture such as benches and trashcans where possible. Commercial developments that exceed 2500 square feet of gross leasable area shall be required to provide a plaza area that incorporates these elements.

Landscape standards are defined in Section 16.17.14, 15 and 16 and shall be reviewed with all applications for design review. Compliance with the minimum standards defined within those sections shall be required. The Design Review Board shall review the list of plant material to be utilized, particularly for determination of irrigation requirements. Exhibit B lists plant materials that are suitable for use in the Town, drought-resistant and therefore their use is encouraged. Other plant materials listed that require substantial water and therefore the Design Review Board may require the provision of an irrigation system and the provision of collateral to assure its completion.

c. Screening

Both residential and commercial areas within the Town shall be required to screen certain visually obtrusive areas, including, but not limited to, refuse storage, general storage, loading areas, mechanical equipment and parking areas.

The screening may occur with landscaping, compliant with Section 16.17.14, 15 and 16, or these uses may be screened with fencing or by containing the uses within a structure or parapet walls. Fences shall not exceed 3-feet in height for opaque fences and 4 feet in height for fences with you can see through. Higher fences may be used to screen the sides and rear of the lot but should not exceed 6 feet in height. In no case shall a fence or screening structure obstruct a driver's view of an intersection.

Additional information regarding the Design Review processes and guidelines including the Character Areas can be found in Chapter 16, Appendix B of the Minturn Town Code.

TAB Associates, Inc.
The Architectural Balance

56 Edwards Village Blvd
Edwards, Colorado 81632
(970) 766-1471 fax
www.tabassociates.com tab@vail.net



Memo

Project: Belden Place – Lots 2-3

Project No: **2215**

Date: June 4, 2025

RE: Design Review Submittal Revision

FROM:

Greg Macik, Principal
Norm Angel, Project Manager

TO:

Town of Minturn DRB

VIA:

Email and Hard Copies

Remarks:

We are submitting for review Lots 2-3 Belden Place Revisions for Design Review.

Comments from Madison Harris (Town of Midturn):

1. The first few sheets state that they have been reviewed for compliance by Shums Coda. Please remove this stamp from all pages.

This stamp has been removed from all pages.

2. Three of the four proposed trees appear to be outside of the property line. Please have all required landscaping within the property lines.

The three proposed trees not placed within the property line have been relocated to within the bounds of the property line.

3. The approved Belden Place PUD Guide states that each lot will have 2 shrubs. This does not appear to be shown on the plans, so please provide two shrubs per lot.

A total of four shrubs, two per lot, were added to the landscape plan in order to meet requirements per the Belden Place PUD Guidelines.

4. The western-most parking pad shown on the landscape plan appears to be partially over the property line. Please update the site plan to show this parking space as well as maintain all parking with the property boundary.

The western-most parking pad has been removed from the landscape plan in order to match proposed civil plans for the site.

- a. Subsequently, please update the impervious coverage numbers/percentages.

The impervious coverage numbers & percentages have been updated per the changes made to the landscape plan.

Comments from Jeffery Spanel (Town of Midturn):

Section (C) (2) Boundary Survey:

Paragraphs f through i:

Sheets C.110 and C.111 of the "Belden Place PUD – Final Plan Submittal" prepared by Timberline Engineering have been included in the application. These plans are the basis of the design and fulfil the requirements of paragraph f through i.

- a. Both Sheets are titled "Belden Place – 12 Plex (Flats)". The title should reflect the correct description of this application.

The titles of these sheets have been updated to accurately reflect the title of the project.

This is a new Duplex within the Belden Place PUD.

Greg Macik, Principal
TAB Associates, Inc.



Belden Place - Duplex
Lot 2&3 - 0020/0022 Abby Road
Minturn, Colorado 81645

[illegible]

Issue Dates:
DRB - 05/15/25

Sheet Title:

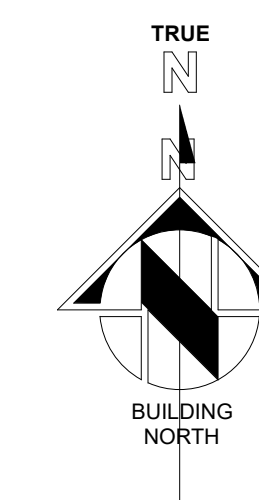
Cover

Project No:
2215

Sheet No:
A0.0



VICINITY MAP

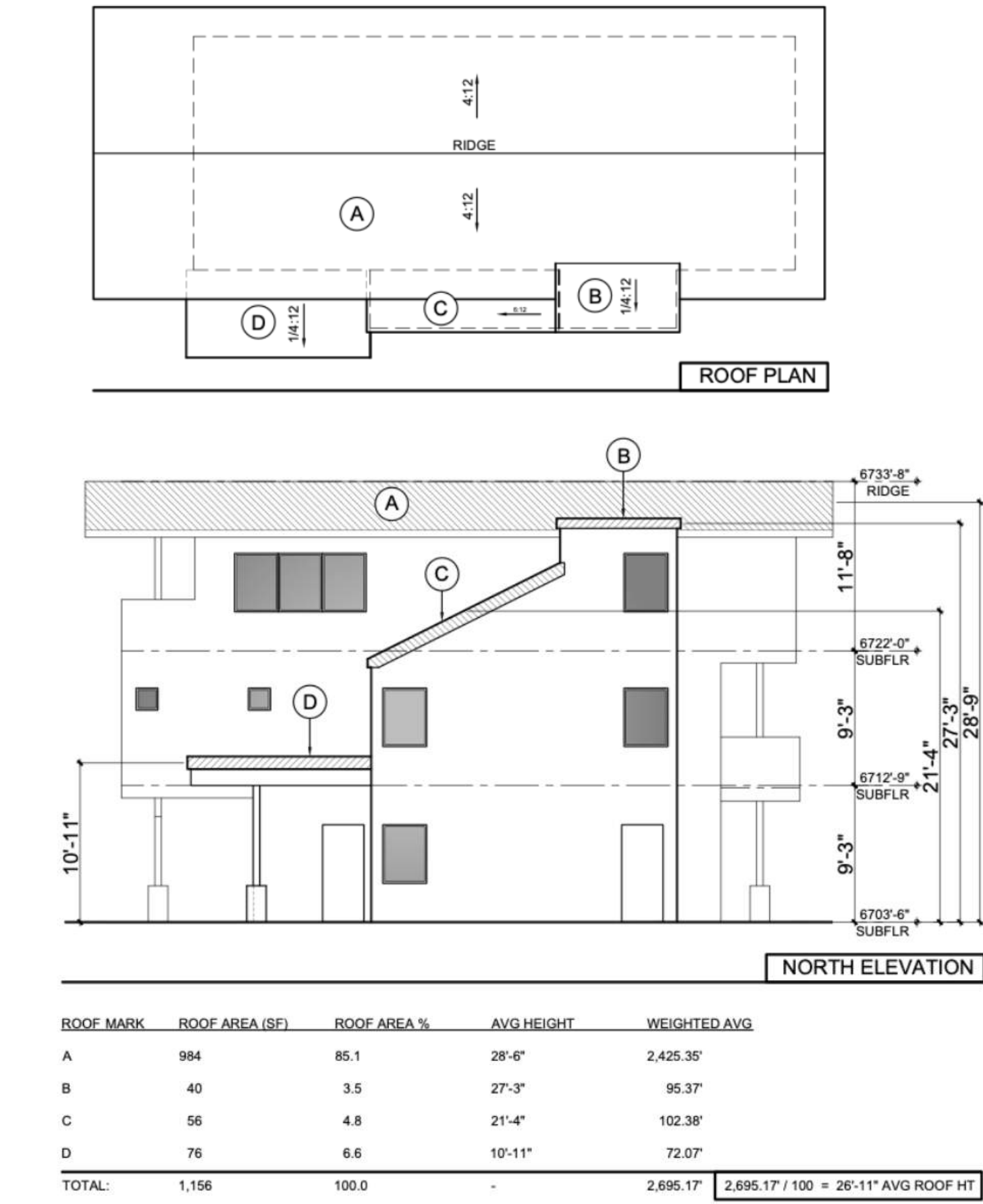


DESIGN REVIEW BOARD

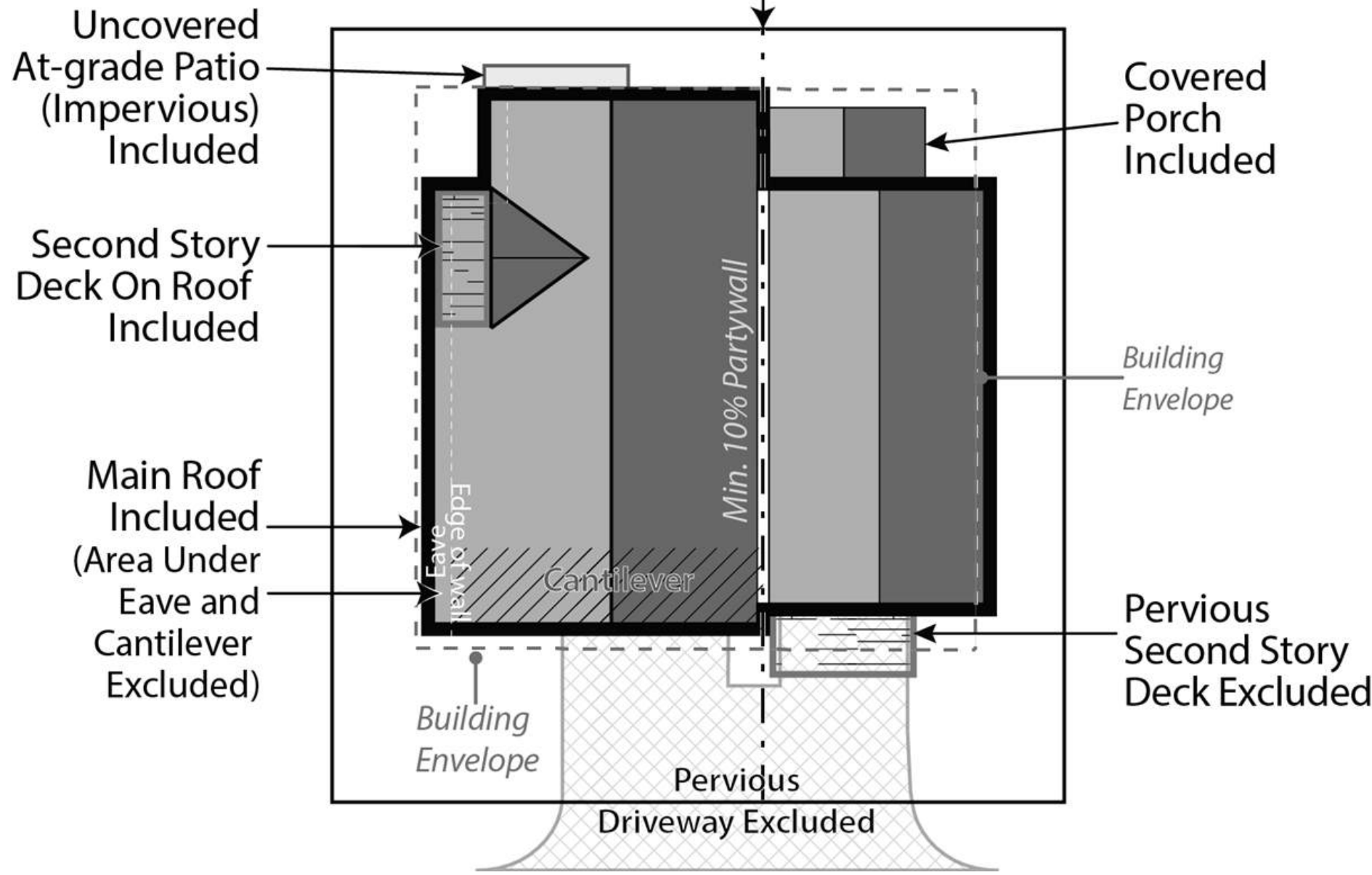
05/15/25

BELDEN PLACE PUD GUIDE INFORMATION
The following is an abreviated version of information found in the PUD guide.

Building Height. Determining building height uses a weighted height calculation as measured from final/finished grade. Max heights - 28' for single famil and duplex, 35' for Row Houses and Flats.



Site Coverage. Site coverage means the portion of a lot covered by materials forming any unbroken surface, impervious to water including, but not limited to: buildings, streets, slab on-grade patios, exterior fireplaces, and other hardscape materials. Site coverage excludes non-hardscape areas under eaves or similar (e.g., open-sided cantilever).



BUILDING PLACEMENT AND ENVELOPES

Residential building envelopes are necessary in order to maximize the buildability and economic viability of the lots while offering greenspace and or space between neighbors to the greatest extent possible. All portions of structure- including fireplaces, chimneys, window wells, eaves, overhangs, etc. must be contained within property lines; however, with the platted building envelope acting as building setbacks for each lot, encroachments are available for certain features.

The following encroachments are permitted beyond the platted building envelope:

Unenclosed or uncovered decks; deck supports; eaves up to 18" beyond the envelope; porches, patios and landings less than 30" above the surrounding natural or finished grade; window or light wells; heat or A/C units; residential solar alternative energy installations; fences; counterforts below grade; staircases (enclosed or otherwise); structures of less than 6" in height; landscaping and drainage features. No encroachment may be located within 24" from the property line or directly on top of in-ground utility easements. Underground parking elements and staircases may encroach within 12" of the most southern property line on Lot 7.

1. SINGLE-FAMILY DETACHED

- Style
 - Residences with the same architectural elevations and coloring shall not be placed adjacent to each other or directly across the street from one another.
 - Each residential unit type shall have at least two (2) elevations to provide stylistic diversity. This may include:
 - Roof forms/lines and profiles
 - Varied window and door styles
 - Varied entry treatments and locations including porches, columns, etc.
 - Two or three story homes
 - Second or third story decks or balconies
- Building Form
 - The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front and sides of the homes.
 - Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

2. DUPLEX/TRI-PLEX or MULTIFAMILY STRUCTURES

- Style
 - Structures shall have at least two (2) elevations to provide stylistic diversity.
 - Units may be multi-stories.
 - Units may be divided horizontally (townhomes) or vertically (flats).
 - Second story decks or balconies permitted.
 - Units have no minimum length of connection and may be joined via shared walls of the garage, external staircases, or main living area wall(s) or floors.
- Building Form
 - The mass of the residence should strongly reflect the architectural style and be scaled to provide visual interest and depth, reduce boxiness and achieve an articulated form on the front of the homes.
 - Roofs shall be designed and pitched accordingly in consideration of solar technology and/or drainage.
 - Roof-top decks are permitted only on certain lots as established by developer and cannot be added on buildings not constructed with this initial feature.

3. MATERIALS

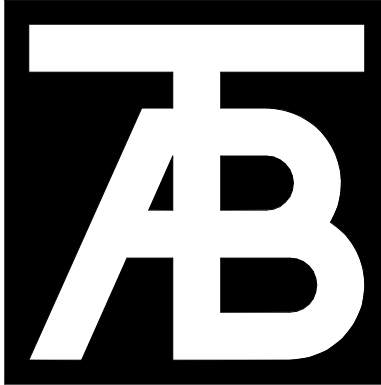
- Roofing materials are limited to the following:
 - Artificial wood shingle (to mimic wood shake shingle). Treated wood shake shingles or any other combustible material is prohibited.
 - Standing seam metal.
 - Asphalt shingles.
 - Imitation (composite or similar); or, real slate tiles.
 - Non-reflective solar tiles that mimic the above-mentioned products
 - Any other recommended FireWise materials similar to the above-mentioned products.
- Siding materials are limited to the following:
 - Metal
 - Wood
 - Composite siding
 - Fiber cement board (commonly known as "Hardie Board")
 - Stucco.
 - Any other recommended FireWise materials similar to the above-mentioned products.
 - All siding materials to have non-reflective finishes.
- Doors and Windows:
 - Structures with multiple garage doors must always have identical, matching doors.
 - All replacement windows shall be consistent and match the aesthetic of previous windows unless otherwise approved by the design review board. Skylight or solar tubes permitted.
 - Screen or storm doors, in addition to typical front doors are permitted. Screen or storm doors cannot replace front doors at any time.
- Design Elements. This development may incorporate mountain appropriate design elements into the buildings, including, but not limited to, exposed heavy timber beams as accent elements or entry features, walls faced with wood, stone, faux stone or cultured stone, metal railings or accents. Stucco may only be utilized in small quantities on building facades and is not to be used as a primary material for home.
- Building materials for residential exteriors shall include at least two (2) types of materials as part of the building façade.

I. LANDSCAPING – See also PUD Landscaping Plan

Shall not interfere with any drainage way, utility, pedestrian access, or entry into any structure. Landscaping shall not obscure windows, be installed under gas fireplace or dryer vents, nor shall any landscaping material overtake any yard, or spread into any common or neighboring yards.

Landscaping minimums:

- At least one (1) tree per 1,200 sf of lot area and two (2) shrubs for all lots. See also official Landscaping Plan for Belden Place.
- All landscaping proposed on the approved Landscaping Plan shall be installed initially with expectations for maintenance.
- No exposed soil is permitted. Soil must be covered in groundcover that may consist of seed (includes wildflower seed), cobble, perennials, mulch, or similar.
- All dead materials must be replaced during the same season death occurs.



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The Architectural Balance
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fax: (970) 766-1471
email: tab@tab.net
www.tabnet.com
Civil Engineer
Timberline Engineering
(970) 963-9869
Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer
Electrical Engineer

Seal

Belden Place - Duplex
Lot 2&3 - 0020/0022 Abby Road
Minturn, Colorado 81645

Revisions:		
No	Description	Date

Issue Dates:
DRB - 05/15/25

Sheet Title:
PUD Guide

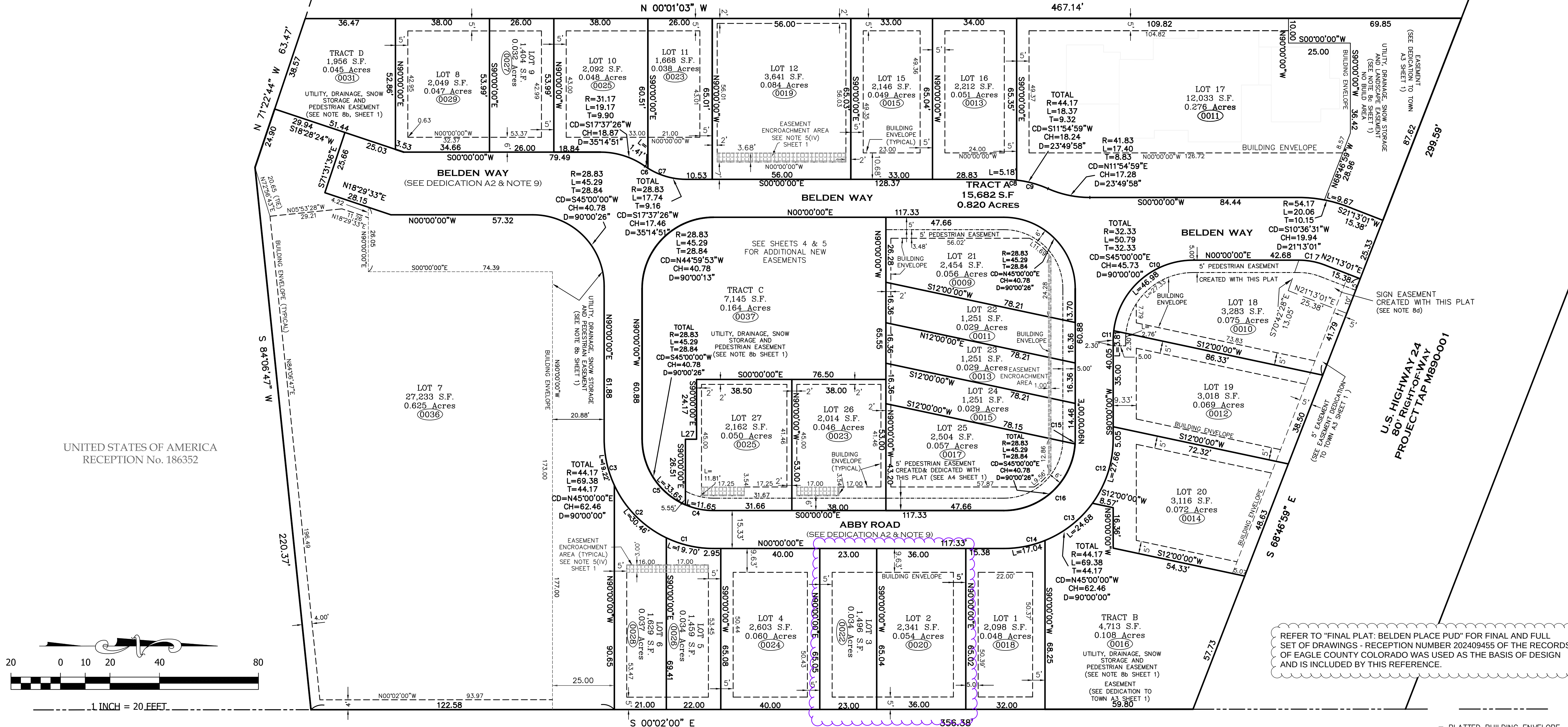
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2215

Sheet No:
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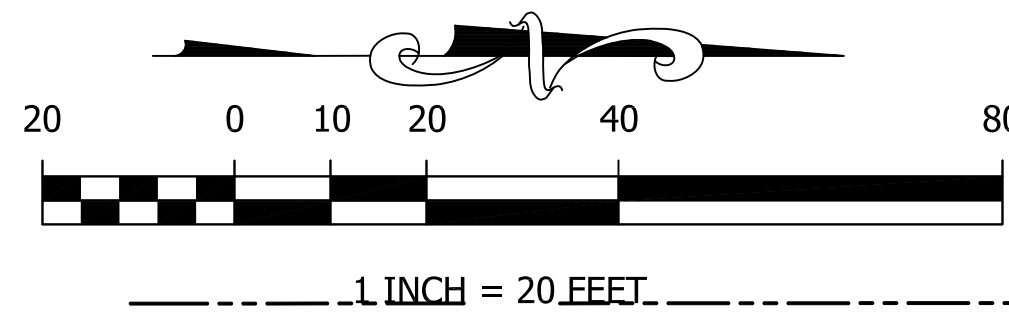
FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5
SUBDIVISION

LOT 28
SOUTH MINTURN ADDITION
RECEPTION No. 163447



UNITED STATES OF AMERICA
RECEPTION No. 186352



L27 = S00°00'00"W 4.50

CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C1	19.70	44.17	10.01	19.53	N12°46'33"E	25°33'06"
C2	30.46	44.17	15.86	29.86	N45°18'32"E	39°30'53"
C3	19.22	44.17	9.76	19.07	N77°31'59"E	24°56'01"
C4	11.65	28.83	5.91	11.57	N11°34'15"E	23°08'56"
C5	33.65	28.83	19.03	31.77	N56°34'28"E	66°51'30"
C6	1.41	28.83	0.71	1.41	N33°50'32"E	2°48'39"
C7	16.32	28.83	8.39	16.11	N16°13'06"E	32°26'12"
C8	5.18	44.17	2.59	5.18	S03°21'35"W	6°43'11"
C9	13.19	44.17	6.65	13.14	S15°16'34"W	17°06'47"
C10	46.98	32.33	28.73	42.95	S41°37'23"E	83°14'46"
C11	3.81	32.33	1.91	3.81	S86°37'23"E	6°45'14"
C12	27.66	44.17	14.30	27.21	N72°03'40"W	35°52'40"
C13	24.68	44.17	12.67	24.36	N38°06'40"W	32°01'20"
C14	17.04	44.17	8.63	16.93	N11°03'00"W	22°06'00"
C15	1.89	28.83	0.94	1.89	N88°07'42"W	3°45'03"
C16	43.41	28.83	27.01	39.42	N43°07'29"W	86°15'24"
C17	10.68	28.83	5.40	10.62	N10°36'31"E	21°13'28"

UNITED STATES OF AMERICA
RECEPTION No. 246983

----- = PLATTED BUILDING ENVELOPE
----- = PEDESTRIAN EASEMENT
[Pattern] = EASEMENT ENCROACHMENT AREA SEE NOTE 5(IV)

REFER TO "FINAL PLAT: BELDEN PLACE PUD" FOR FINAL AND FULL SET OF DRAWINGS - RECEPTION NUMBER 202409455 OF THE RECORDS OF EAGLE COUNTY COLORADO WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THIS REFERENCE.

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

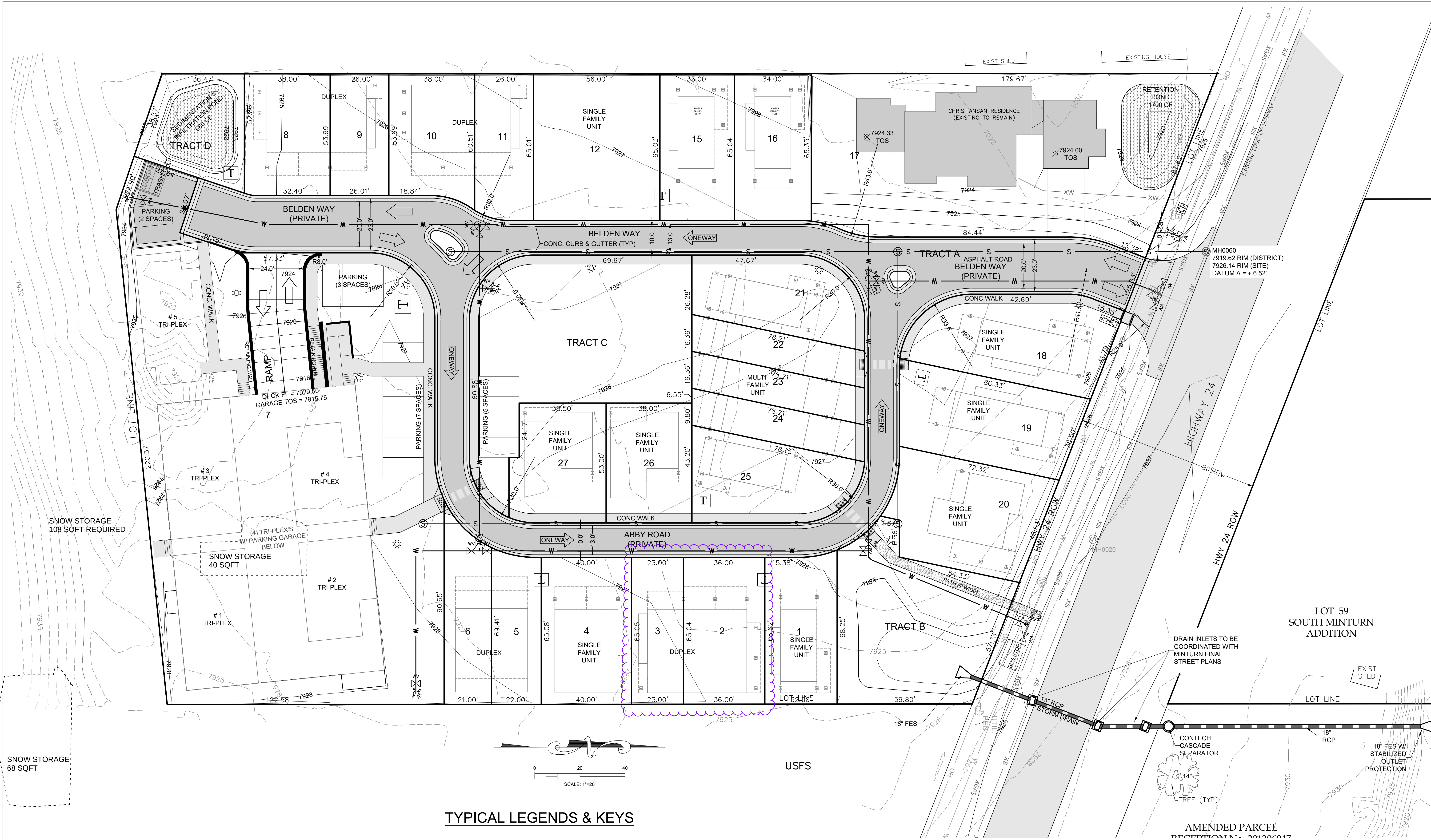
Matthew S. Slagle PLS 34998
Professional Land Surveyor
State of Colorado



SLAGLE SURVEY SERVICES
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
970.471.1499 Office matthew@slaglesurvey.com
www.SlagleSurvey.com

FINAL PLAT
BELDEN PLACE, P.U.D.
Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18029	DRAWING NAME: 18029_PUD-23.dwg
SHEET 3 OF 5	DATE: 11-11-2023	



TYPICAL LEGENDS & KEYS

AD = AREA DRAIN
CFS = CUBIC FEET PER SECOND
CONC = CONCRETE
EC = EDGE OF CONCRETE
EOA = EDGE OF ASPHALT
EP = EDGE OF PAVEMENT
EX = EXISTING
FF = FINISHED FLOOR
FG = FINISHED GRADE
FL = FLOW LINE
GD = GRADE/GROUND
HP = HIGH POINT
LP = LOW POINT
TBC = TOP BACK OF CURB
TD = TRENCH DRAIN
TOS = TOP OF SLAB
TOW = TOP OF WALL
TYP = TYPICAL
WH = WALL HEIGHT
TOW = TOP BACK OF WALK
EL = ELEVATION
TOP = TOP OF PIPE

CONTOUR LEGEND:

EXISTING 1' CONTOUR --- 7929 ---
EXISTING 5' CONTOUR --- 7930 ---
PROPOSED 1' CONTOUR --- 7929 ---
PROPOSED 5' CONTOUR --- 7930 ---

EXISTING UTILITIES LINE KEY:

WATER --- XW ---
SEWER --- XS ---
OVERHEAD ELEC, TELE, CATV --- OH ---
GAS --- XGAS ---

EXISTING UTILITIES SYMBOL KEY:

Water Vault, Water Valve, Fire Hydrant, Sewer Manhole, Utility Pole, Electric Transformer, Cable TV Pedestal

PROPOSED UTILITY SYMBOL KEY:

Water Vault, Water Valve, Fire Hydrant, Sewer Manhole, Utility Pole, Electric Transformer, Cable TV Pedestal, Electric Splice Vault

INDICATES DIRECTION OF TRAFFIC FLOW

LINE KEY:
WATER --- W ---
SEWER --- S ---

PARKING NOTES:
PARKING SPACES 9' X 18' MIN.

REFER TO "BELDEN PLACE PUD - FINAL PLAN SUBMITTAL" FOR FULL DEVELOPMENT SITE PLANE. PREPARED BY TIMBERLINE ENGINEERING DATE JULY 12, 2024, WAS USED AS THE BASIS OF DESIGN AND IS INCLUDED BY THE REFERENCE.

EARTHWORK:
5175 CYD CUT
8130 CYD FILL
2955 CYD NET <FILL>
(DOES NOT INCLUDE ONSITE HAUL-IN ±1000 CYD)

TIMBERLINE ENGINEERING INC. CIVIL STRUCTURAL
218 E. Valley Rd. P 970.963.9869
STE 104 PMB 177
Carbondale, Colorado 81623
timberlineengineering@gmail.com

COLORADO REGISTERED PROFESSIONAL ENGINEER 39776

COPYRIGHT

Belden Place - Duplex
Lots 2-3

0036 Abby Road, Minturn, Colorado 81645

NOT FOR CONSTRUCTION

DATE	REVISION
2/15/22	Permit Set
7/29/24	Review comments 1

Title:

PROPOSED SITE PLAN

Sheet:

C.111



UNITS 2-3

SHEET INDEX:

- C.1 SITE PLAN W/ GRADING
C.2 UTILITY PLAN & EROSION CONTROL PLAN
C.3 EROSION CONTROL DETAILS

CONTACTS

Owner/contractor:	Peter Murray Group Brian Claydon 970 390-3489		
Architect:	TAB Associates, Inc. 56 Edwards Village Boulevard Edwards, CO 81632 970 766-1470		
Structural Engineer:	KRM Consultants, Inc. PO Box 4572 Vail, CO 81658 970 949-9391		
Geotechnical Engineer:	Kumar & Associates, Inc. 5020 County Road 154 Glenwood Springs, CO 81601 970 345-7988		
Water:	Town of Minturn Public Works Arnold Martinez 970 445-2416		
Sewer:	Eagle River Water & Sanitation District 970 477-5451		
Electric & Gas:	Excel Energy Electrical Emergency 800 895-1999 Gas Emergency 800 895-2999		
Call before you dig:	811		

LINE KEY:

WATER	_____	W	_____
SEWER	_____	S	_____
ELECTRIC	_____	UEL	_____
GAS	_____	GAS	_____
TELEPHONE	_____	TEL	_____
CATV	_____	CTV	_____
PROPERTY LINE	_____	PL	_____

CONTOUR LEGEND

EXISTING 1' CONTOUR - - - - - 7929 - - - - -
EXISTING 5' CONTOUR — — — — — 7930 — — — — —
PROPOSED 1' CONTOUR ————— 7929 —————
PROPOSED 5' CONTOUR ————— 7930 —————

PROPOSED UTILITY SYMBOL KEY

	WATER VAULT		STREET LIGHT
	WATER VALVE		
	FIRE HYDRANT		
	SEWER MANHOLE		
	UTILITY POLE		
	ELECTRIC TRANSFORMER		
	CABLE TV PEDESTAL		
	ELECTRIC SPLICE VAULT		
	WATER SERVICE CURB STOP		
	SANITARY SEWER CLEANOUT		

ABBREVIATION KEY

CF5	= CUBIC FEET PER SECOND
CONC	= CONCRETE
EC	= EDGE OF CONCRETE
EOA	= EDGE OF ASPHALT
EP	= EDGE OF PAVEMENT
EX	= EXISTING
FF	= FINISHED FLOOR
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F	= FLOW LINE
GL	= GRADE/GROUND
HP	= HIGH POINT
LP	= LOW POINT
TBC	= TRENCH BACK OF CURB
TBD	= TRENCH DRAIN
TOS	= TOP OF SLAB
TOW	= TOP OF WALL
TYP	= TYPICAL
WH	= WALL HEIGHT
TOW/EL	= TOP BACK OF WALK
EL	= ELEVATION
TOP	= TOP OF PIPE
WV	= WATER VALVE
WW	= WINDOW WELL

Belden Place
UNITS 2-3 DUPLEX

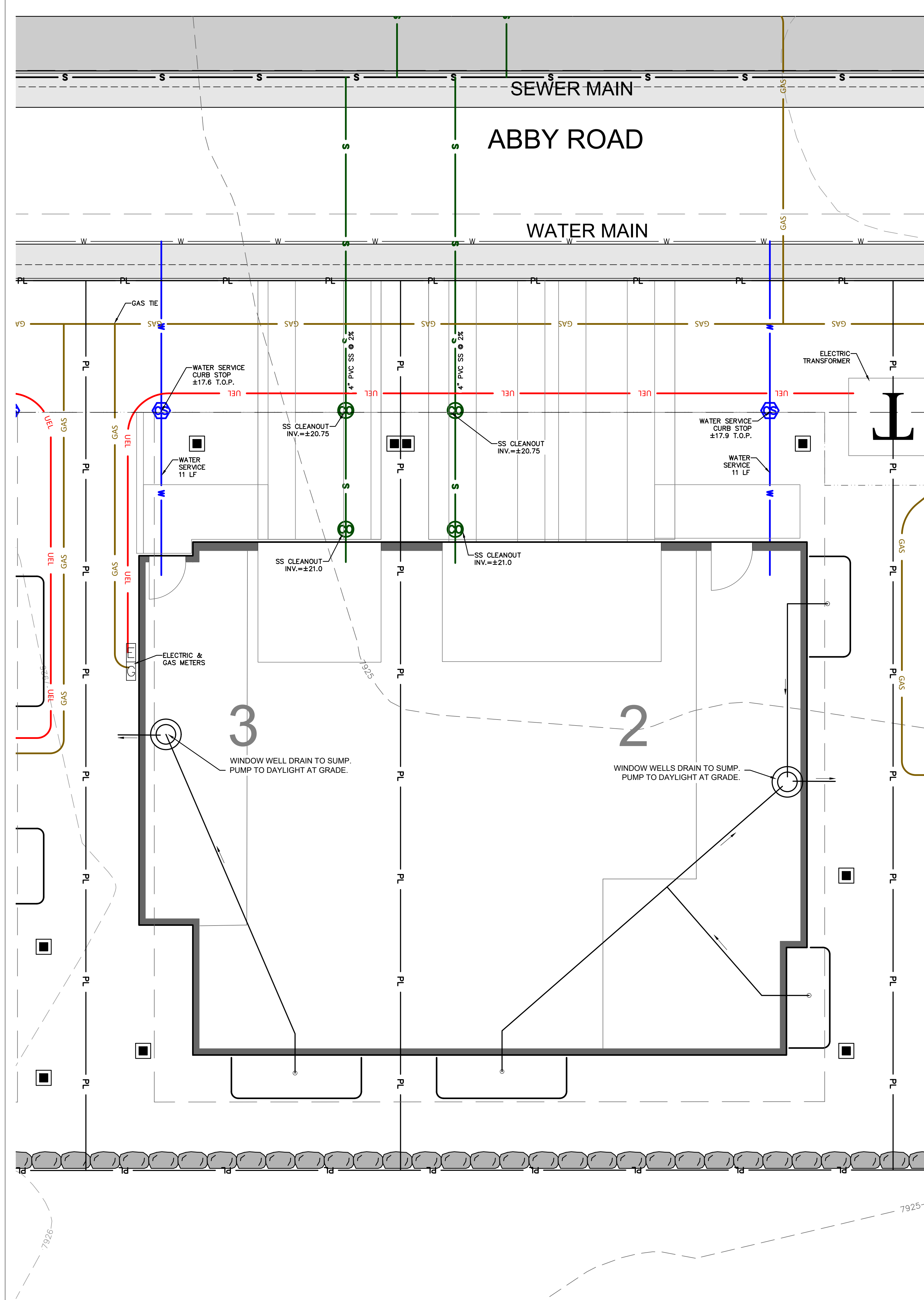
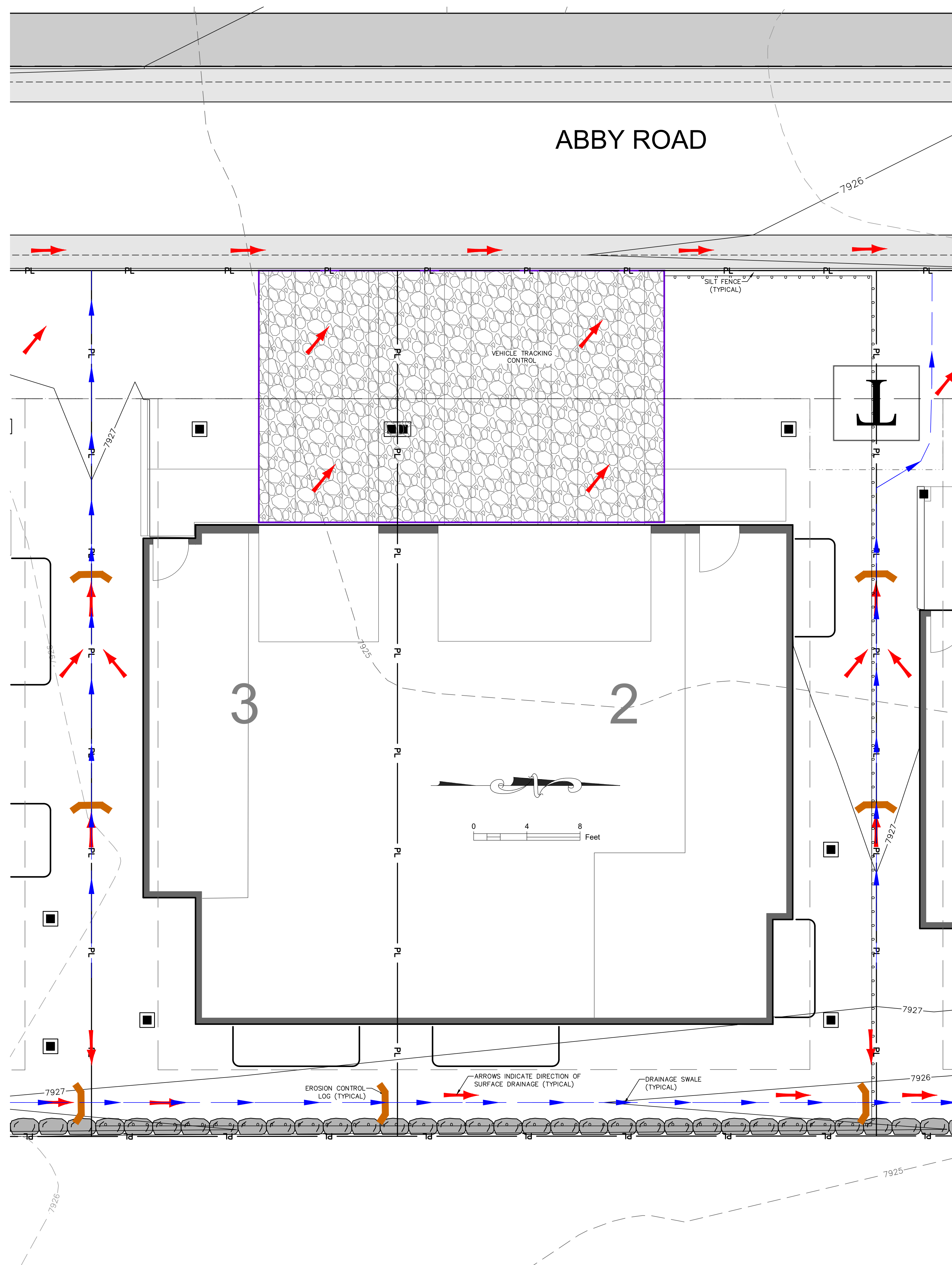
NOT FOR CONSTRUCTION	
DATE	REVISION
1/24/25	DRB Coordination

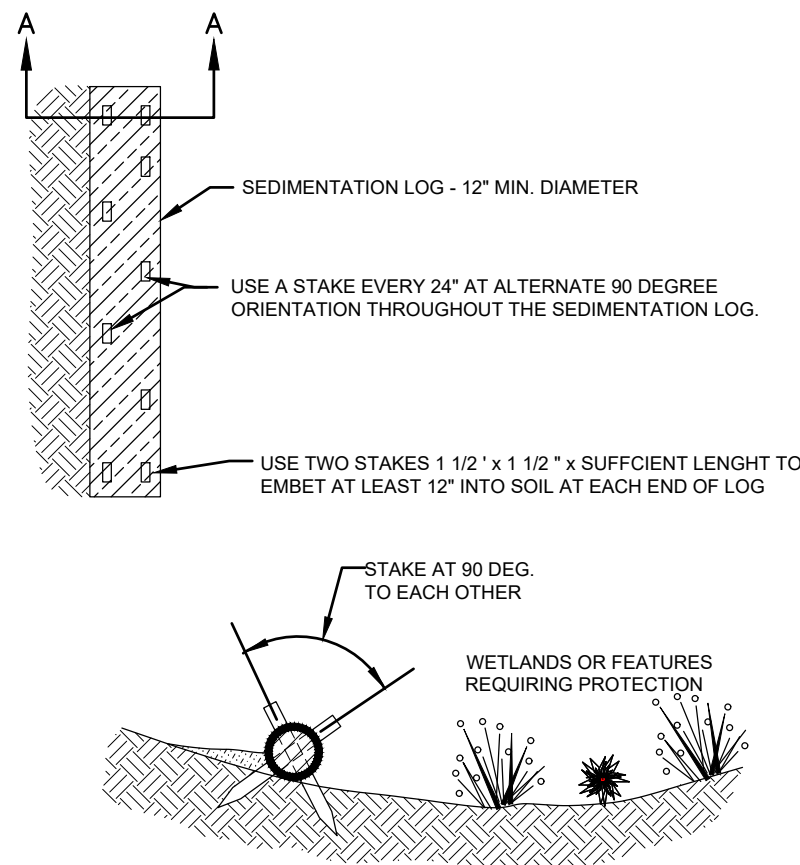
Title:

SITE PLAN

Sheet:

C.1





SECTION A - A

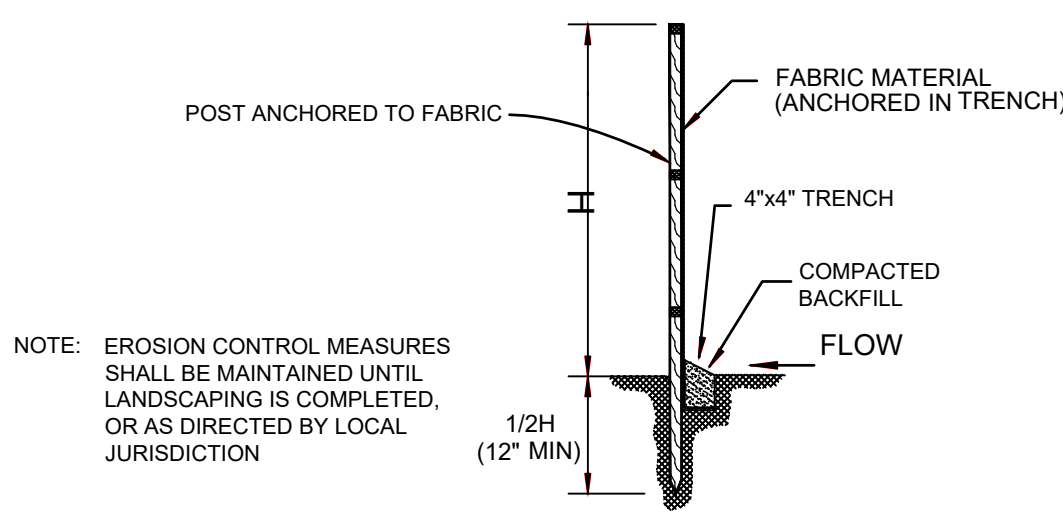
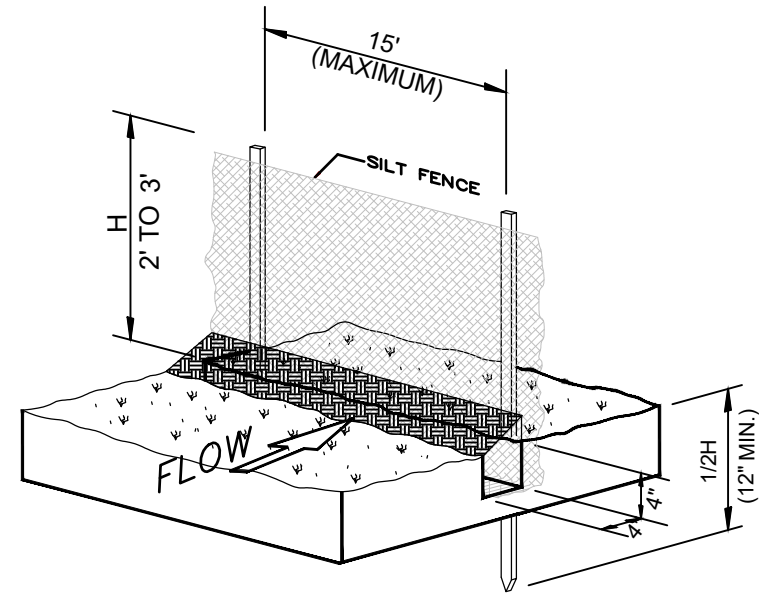
SEDIMENT CONTROL LOG INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOG.
2. SEDIMENT CONTROL LOGS INDICATED ON INITIAL SWMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND-DISTURBING ACTIVITIES.
3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
4. NOT FOR USE IN CONCENTRATED FLOW AREAS.
5. THE SEDIMENT CONTROL LOG SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 2".

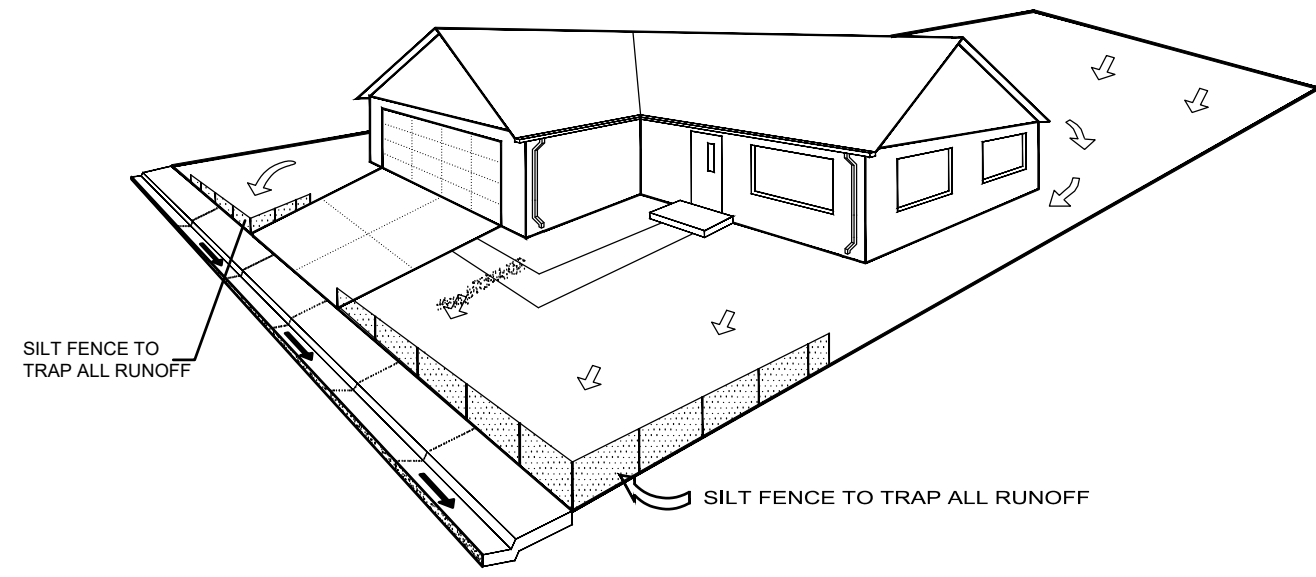
SEDIMENT CONTROL LOG MAINTENANCE NOTES

1. THE SWMP MANAGER SHALL INSPECT SEDIMENT CONTROL LOGS DAILY, DURING AND AFTER ANY STORM EVENT AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOGS SHALL BE REMOVED WHEN THE UPSTREAM SEDIMENT DEPTH IS WITHIN 1/2 THE HEIGHT OF THE CREST OF LOG.
3. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION. IF ANY DISTURBED AREA EXISTS AFTER REMOVAL, IT SHALL BE COVERED WITH TOP SOIL, DRILL SEEDED AND CRIMP MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

EROSION CONTROL LOG
DETAIL

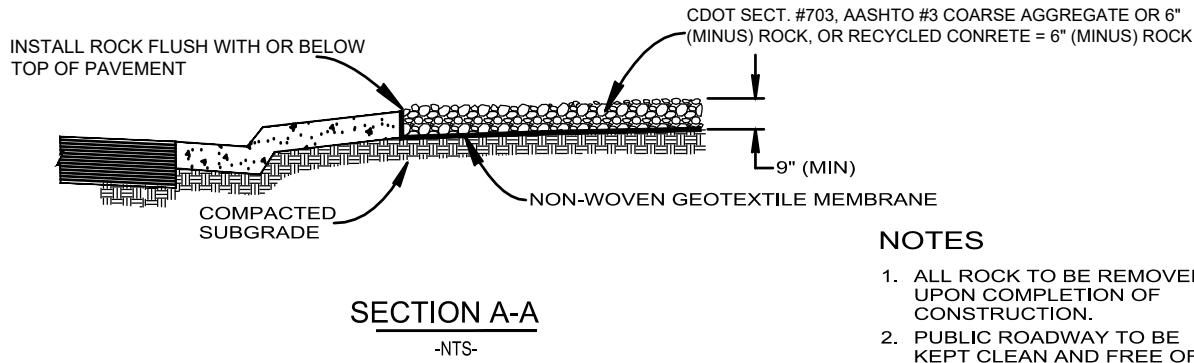
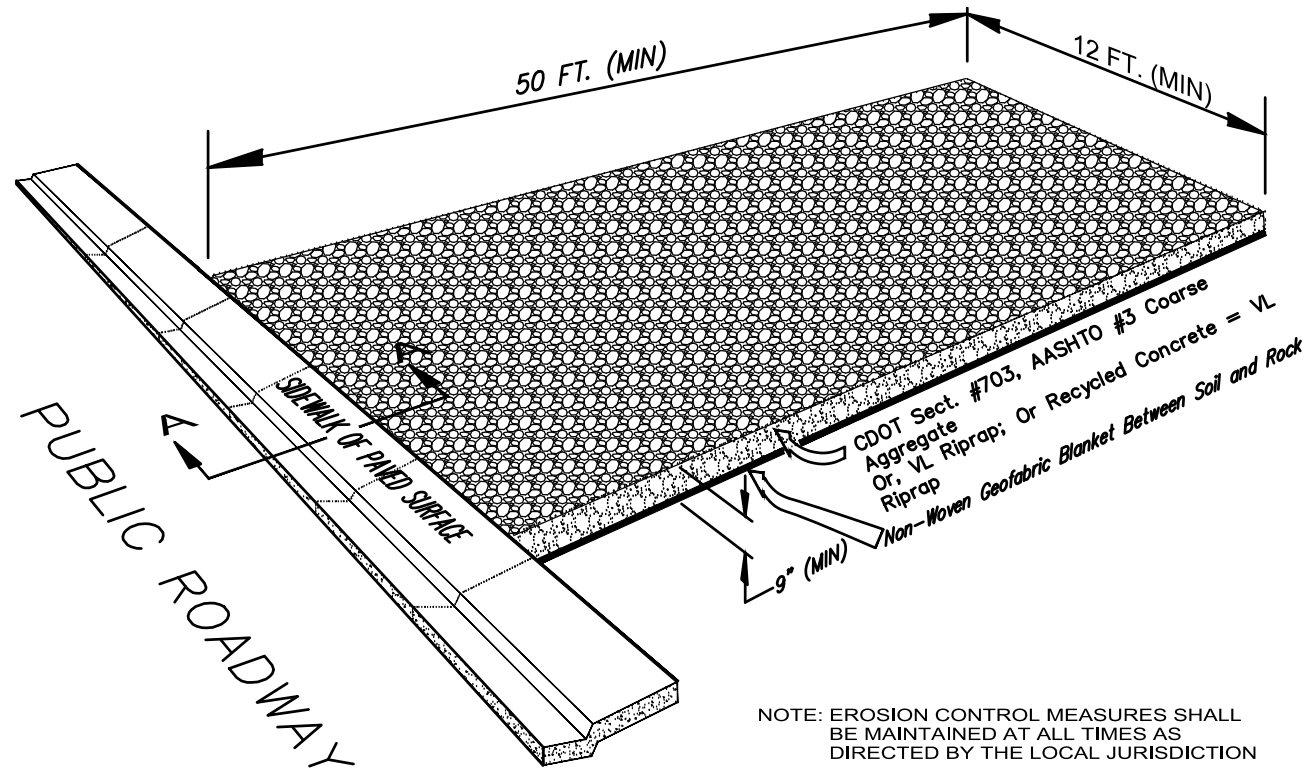


SILT FENCE INSTALLATION
DETAIL



NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY LOCAL JURISDICTION

SILT FENCE PLACEMENT
DETAIL



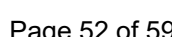
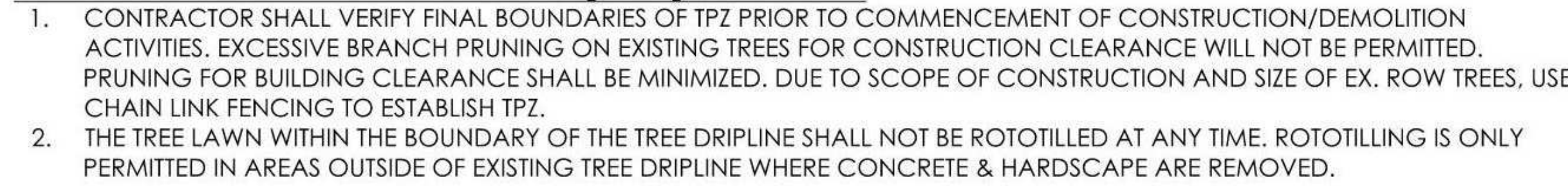
TEMPORARY VEHICLE TRACKING CONTROL
DETAIL

NOT FOR CONSTRUCTION	
DATE	REVISION
3/24/25	DRB Coordination

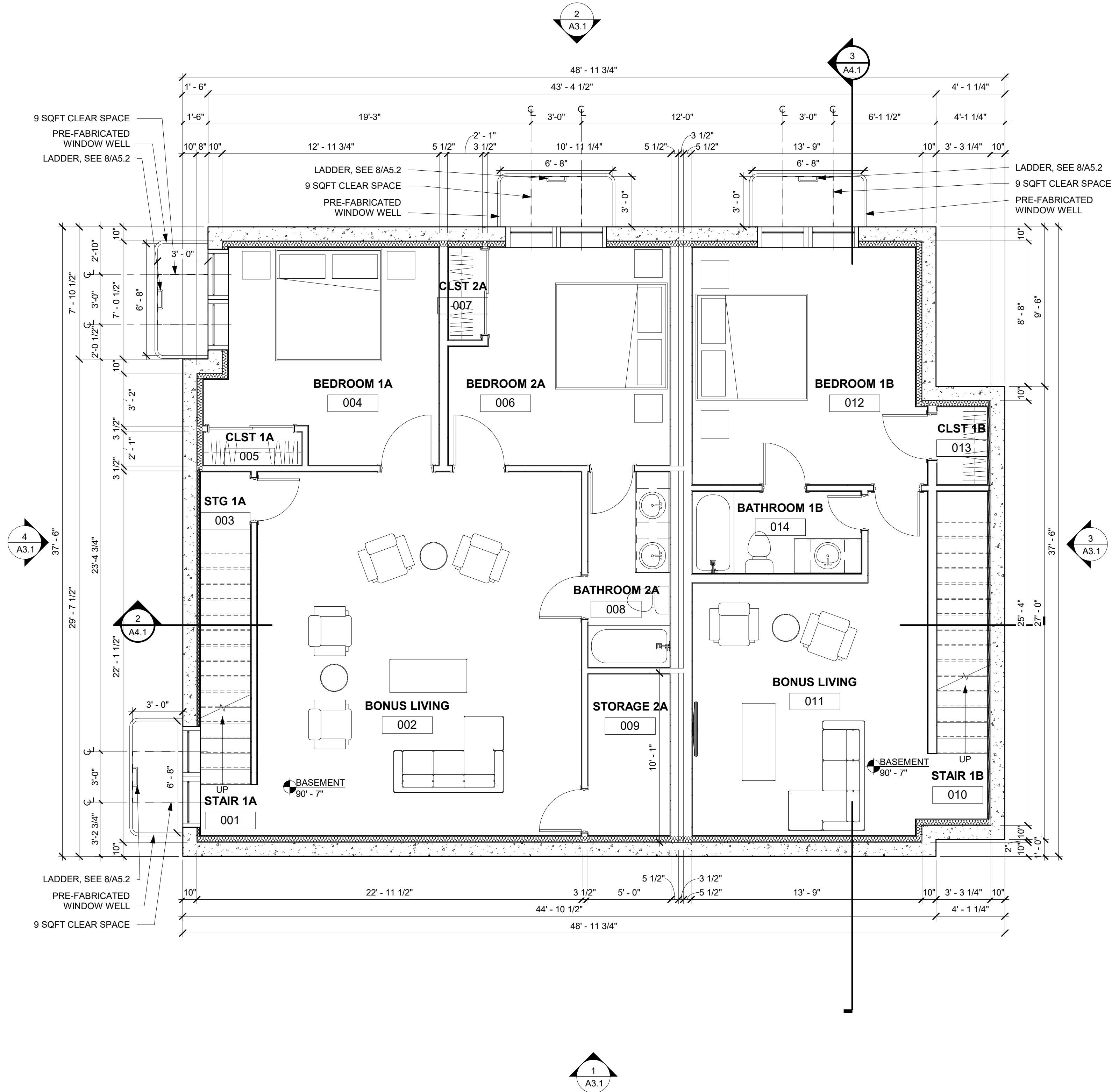
Title:
EROSION
CONTROL
DETAILS

Sheet:

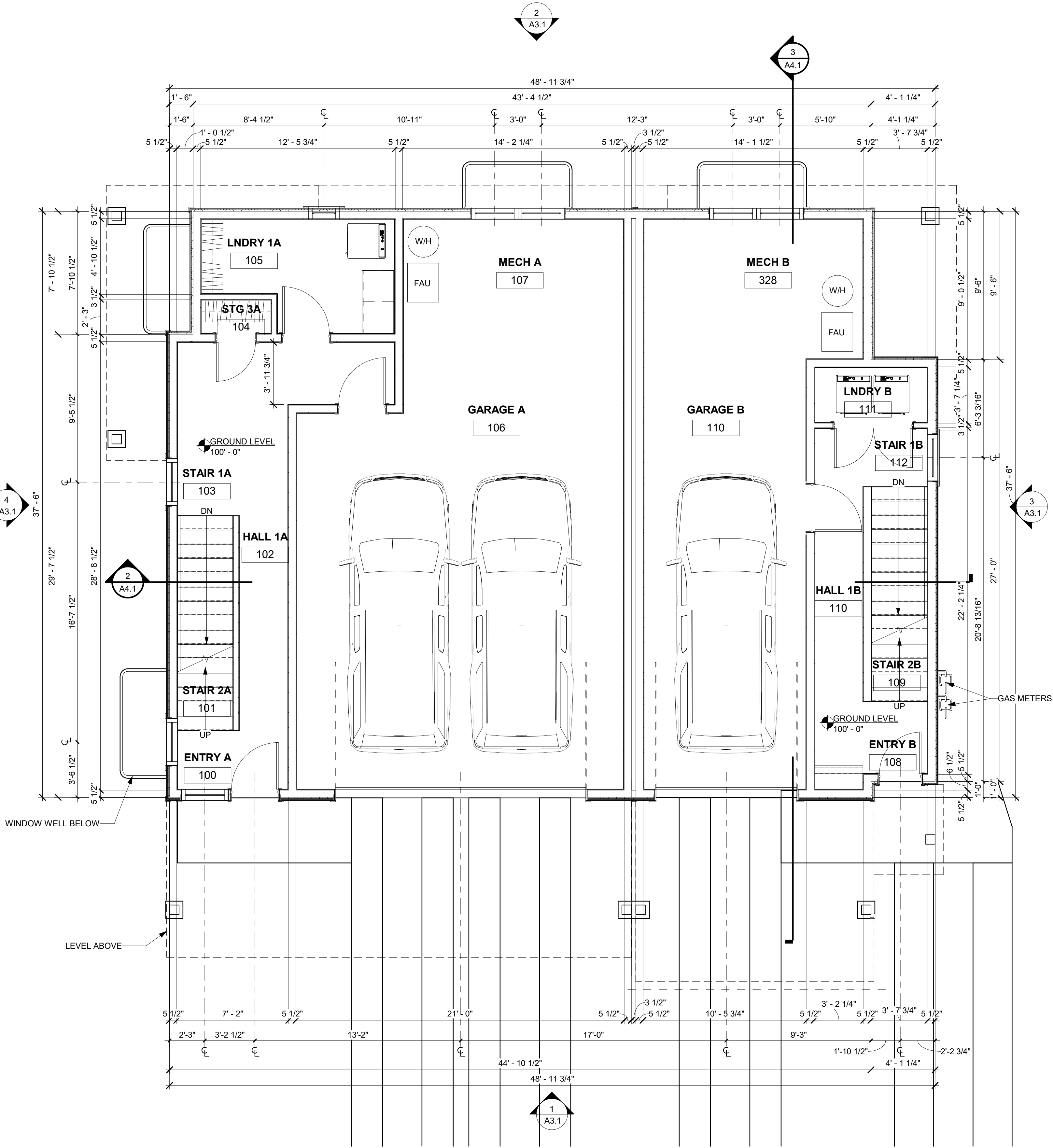
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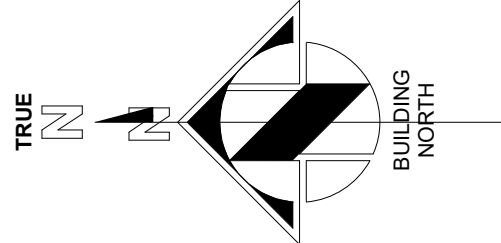
AREA SUMMARY		
PROPOSED CONDITIONED SQUARE FOOTAGE		
	UNIT A	UNIT B
BASEMENT LEVEL	955 SF	551 SF
GROUND LEVEL	338 SF	198 SF
MAIN LEVEL	1,053 SF	619 SF
UPPER LEVEL	963 SF	591 SF
TOTAL	3,310 SF	1,950 SF
PROPOSED UNCONDITIONED SQUARE FOOTAGE		
BASEMENT LEVEL	0	0
GROUND LEVEL	680 SF	420 SF
MAIN LEVEL	0	0
UPPER LEVEL	0	0
TOTAL	680 SF	420 SF
TOTAL COND & UNCOND	4,000 SF	2,380 SF
BUILDING TOTAL COND & UNCOND	6,380 SF	



1 BASEMENT
A2.0 1/4" = 1'-0"



2 GROUND LEVEL
A2.0 1/4" = 1'-0"



NOTES:

CLOSET NOTES:

1. SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 10" SHELF & ROD @ 5'-0" AFF.
2. DOUBLE HANGING: DESIGNATED BY DOUBLE DASHED LINE IN CLOSETS TO BE: 16" SHELF & ROD @ 7'-0" AFF, 12" SHELF & ROD @ 3'-0" AFF.
3. SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
4. LINEN SHELVES: 6 SHELVES, WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
5. STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

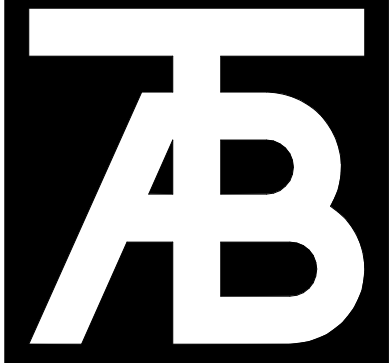
1. ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
2. CLEATS TO BE 1x2 CLEAR PINE.
3. PROVIDE ROD SUPPORTS @ 36" OC MAX.
4. ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

1. PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN, REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES, TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
2. PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
3. PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
4. PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
5. COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
6. DO NOT SCALE DRAWINGS.
7. IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
8. ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
9. ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
11. ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
2. SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
3. PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO: TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
4. WHERE WALL PARTITIONS ARE A CONTINUATION OF EXISTING ONES, NEW FINISH SURFACES MUST BE FLUSH AND CONTINUOUS WITH EXISTING SURFACES ON BOTH SIDES. INFILL OPENINGS IN EXISTING WALLS WITH MATERIAL TO MATCH EXISTING WALL THICKNESS, TEXTURE, AND FINISH.
5. REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
6. EXISTING BUILDING DIMENSIONS AND ELEVATIONS ARE BASED UPON EXISTING SURVEY INFORMATION. IMMEDIATELY NOTIFY ARCHITECT IF CONDITIONS ARE ENCOUNTERED THAT DO NOT AGREE WITH DIMENSIONS AND/OR ELEVATIONS SHOWN.
7. VERIFY ALL PITCHED FLOOR AREAS SHOWN WITH PITCH LINES WITH THE ARCHITECT. PROVIDE A SLAB DEPRESSION AT ALL FLOOR DRAINS WHERE PITCH LINES ARE NOT SHOWN ON DRAWINGS.
8. PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
9. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
10. ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
11. DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXX.XX ON CIVIL DRAWINGS.
12. ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
13. CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.



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Structural Engineer
KRM Consultants, Inc.
(970) 949-9391
Mechanical Engineer
Electrical Engineer

Seal

Belden Place - Duplex
Lot 2&3 - 0020/0022 Abby Road
Minturn, Colorado 81645

Revisions:		
No	Description	Date

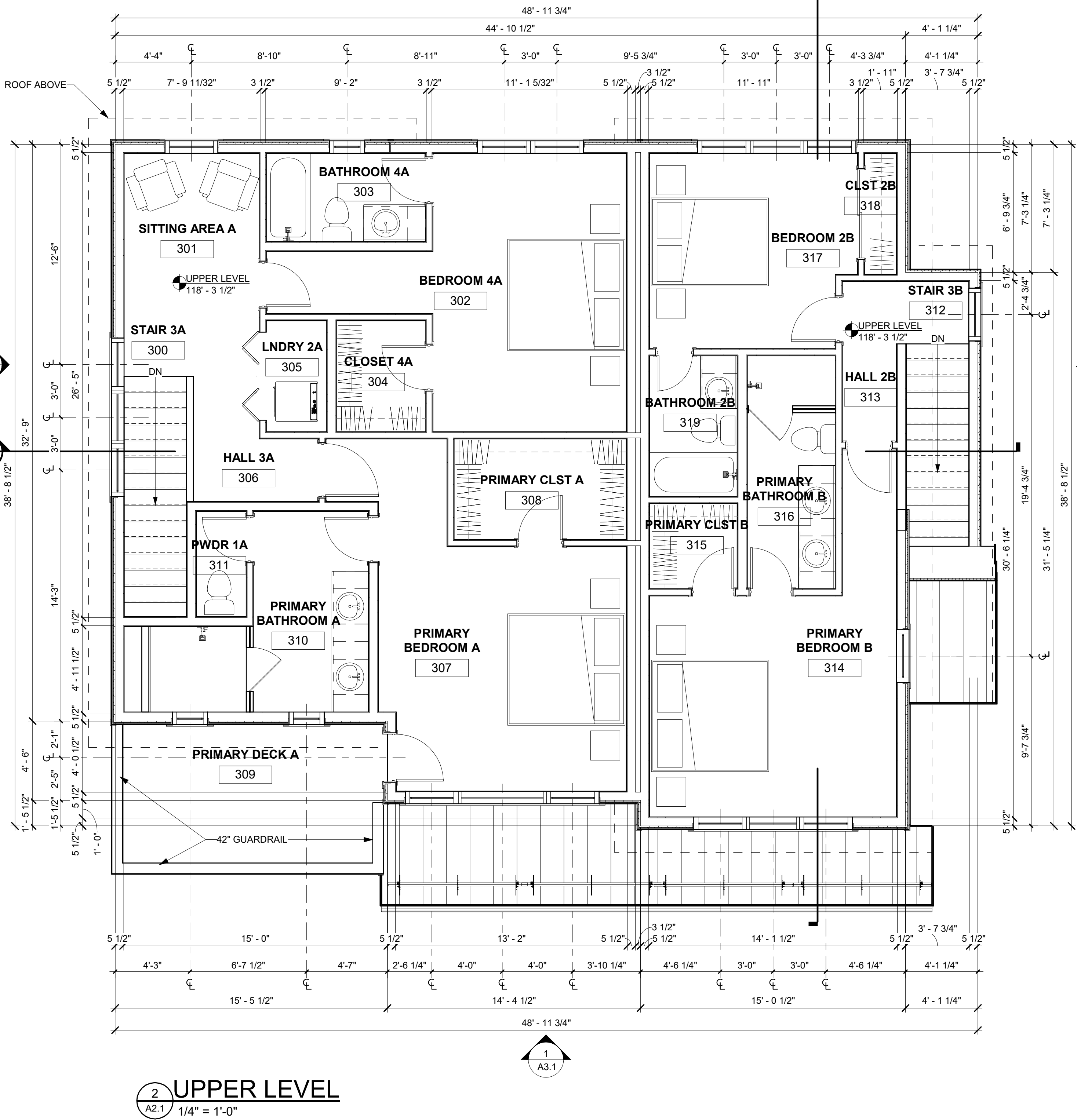
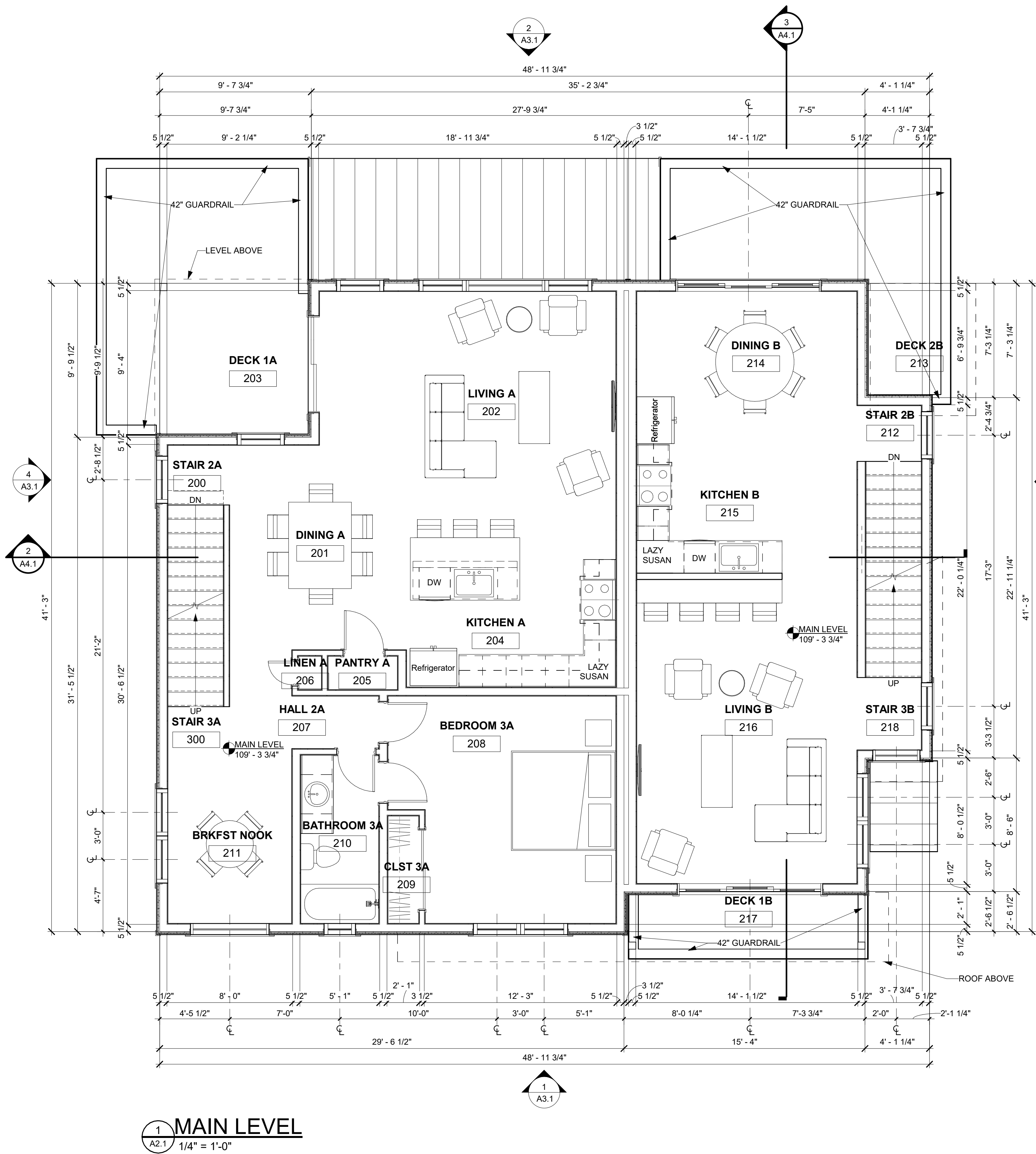
Issue Dates:
DRB - 05/15/25

Sheet Title:
Lower Level Floor Plans

Project No:
2215

Sheet No:
A2.0

AREA SUMMARY		
PROPOSED CONDITIONED SQUARE FOOTAGE		
	UNIT A	UNIT B
BASEMENT LEVEL	955 SF	551 SF
GROUND LEVEL	338 SF	198 SF
MAIN LEVEL	1,053 SF	619 SF
UPPER LEVEL	963 SF	591 SF
TOTAL	3,310 SF	1,950 SF
PROPOSED UNCONDITIONED SQUARE FOOTAGE		
BASEMENT LEVEL	0	0
GROUND LEVEL	680 SF	420 SF
MAIN LEVEL	0	0
UPPER LEVEL	0	0
TOTAL	680 SF	420 SF
TOTAL COND & UNCOND	4,000 SF	2,380 SF
BUILDING TOTAL COND & UNCOND	6,380 SF	



NOTES:

CLOSET NOTES:

- SINGLE HANGING: DESIGNATED BY SINGLE DASHED LINE IN CLOSETS TO BE: 16" SHELF @ 7'-0" AFF, 16" SHELF & ROD @ 5'-6" AFF.
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- SHELVES @ WALK-IN CLOSETS: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, SHELF WIDTH TO BE CLOSET WIDTH, LESS 4'-0" OR AS OTHERWISE INDICATED.
- LINEN SHELVES: 6 SHELVES: WIDTH AS NOTED, @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.
- STORAGE SHELVES: 6 - 16" SHELVES @ 1'-2" OC, 1st SHELF @ 1'-2" AFF, FULL CLOSET WIDTH.

GENERAL CLOSET NOTES:

- ALL SHELVES & VERTICAL DIVIDERS TO BE AC PLYWOOD WITH 1x2 EDGE, SPECIES TO BE SPECIFIED BY DEVELOPER.
- CLEATS TO BE 1x2 CLEAR PINE.
- PROVIDE ROD SUPPORTS @ 36" OC MAX.
- ALL TO BE STAINED TO MATCH CASE & BASE.

FLOOR PLAN GENERAL NOTES:

- PATCH EXISTING CONSTRUCTION SCHEDULED TO REMAIN. REPAIRED SURFACES TO BE FLUSH WITH ADJACENT FINISH SURFACES. TO SAME QUALITY AS NEW CONSTRUCTION PRIOR TO INSTALLING NEW FINISHES. REFER TO THE FINISH MANUFACTURER'S GUIDELINES FOR INSTALLATION.
- PATCH EXISTING FIRE-RATED WALLS, FLOOR CEILINGS, ETC. SO AS TO MAINTAIN THE FIRE-RADIATING ADD FIRE-SMOKE DAMPERS WHERE NEW DUCTS CROSS. ADD FIRE STOP AT ALL.
- PATCH WALLS AT REMOVED RECEPTACLE OPENINGS SO AS TO RECEIVE SUBSEQUENT WORK.
- PATCH AND LEVEL FLOOR SUBSTRATES TO RECEIVE NEW WORK AS SCHEDULED.
- COORDINATE ALL FLOOR CORE DRILLING WITH EXISTING.
- DO NOT SCALE DRAWINGS.
- IN ROOMS WITH FLOOR DRAINS, SLOPE CONCRETE SURFACE WITHIN 18" RADIUS AT 1/4" PER FOOT TOWARD FLOOR DRAIN, UNLESS OTHERWISE INDICATED.
- ALL SPOT ELEVATIONS SHOWN ON THE FLOOR PLANS OUTSIDE THE BUILDING RELATE TO USGS ELEVATIONS. ALL SPOT ELEVATIONS INSIDE THE BUILDING REFER TO BUILDING REFERENCE ELEVATIONS. NOTIFY ARCHITECT IMMEDIATELY SHOULD CONDITIONS BE FOUND CONTRADICTORY TO THESE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO GRID LINE, FACE OF CONCRETE OR MASONRY, OR FACE OF GYPSUM BOARD, UNLESS OTHERWISE NOTED.
- ALL FLOOR PLAN DIMENSIONS TO MASONRY ARE NOMINAL DIMENSIONS, UNLESS NOTED AS ACTUAL.

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. IMMEDIATELY NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED. ALL DIMENSIONS ARE GIVEN TO FACE OF WALL FRAMING. SEE WALL SECTIONS AND WALL TYPES FOR EXACT CONSTRUCTION.
- SEE SHEET A0.1 FOR WALL TYPES INDICATED ON FLOOR PLANS.
- PROVIDE ALL NECESSARY BLOCKING FOR PROPER ATTACHMENT OF WORK IN WALLS AND CEILINGS. LOCATIONS INCLUDE BUT NOT LIMITED TO: TOILET AND BATH ACCESSORIES, WALL AND CEILING MOUNTED ELECTRICAL EQUIPMENT, WINDOW TREATMENTS, CASEWORK, COUNTERTOPS, ETC.
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- REFERENCE S-SERIES DRAWINGS FOR STRUCTURAL NOTES AND DETAILS AND COORDINATE.
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- PROVIDE 4" RETURN FROM FACE OF ADJACENT WALL FOR ANY DOORS NOT DIMENSIONED.
- SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ITEMS NOT SHOWN ON ARCHITECTURAL DRAWINGS AND COORDINATE.
- ALL INTERIOR WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK AND STEEL STRUCTURE (BEAM) UNLESS NOTED OTHERWISE. SEE PARTITION WALL TYPES ON SHEET A0.03.
- DATUM 100'-0" INDICATED ON ALL DRAWINGS, OTHER THAN CIVIL SERIES EQUALS XXXXXX ON CIVIL DRAWINGS.
- ALL STEEL LOCATED BELOW AND EXPOSED TO GRADE TO BE COATED WITH BITUMINOUS DAMPROOFING.
- CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FOR SPECIAL INSPECTIONS, 2015 IBC-1704.

ROOF FINISH LEGEND

NOTES:

- HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE: STRUCTURAL.
- ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH, RE: DIAGRAM ON ELECTRICAL PLANS.
- T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING.
- CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURER'S REQUIREMENTS.

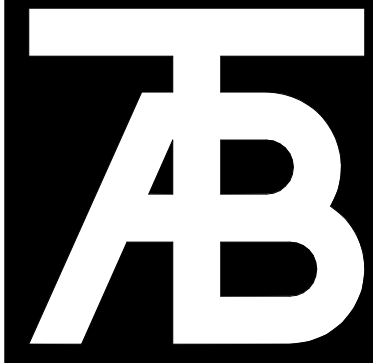
- R-1 TAMKO ASPHALT SHINGLES, HERITAGE PREMIUM, COLOR: NATURAL TIMBER
- R-2 COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1

COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS

OVERHANGS ARE 2'-0" FROM FACE OF FRAMING TYP. U.N.O.

CHIMNEY CAP - 6" SANDSTONE CAP

ROOF BEAMS - ROUGH SAWN TIMBER



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0008 Edwards Village Blvd.
Suite 210
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Mechanical Engineer
Electrical Engineer

Seal

Belden Place - Duplex
Lot 2&3 - 0020/0022 Abby Road
Minturn, Colorado 81645

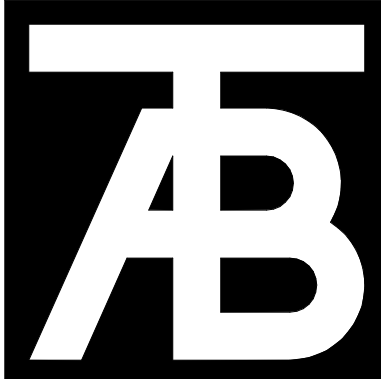
Revisions:		
No	Description	Date

Issue Dates:
DRB - 05/15/25

Sheet Title:
Upper Level Floor Plans

Project No:
2215

Sheet No:
A2.1

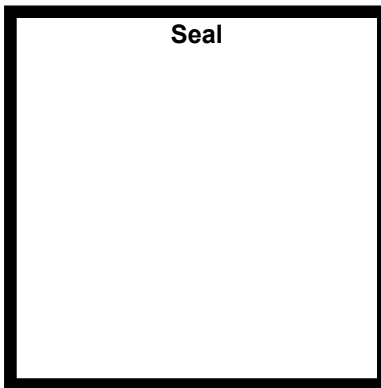


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Issue Dates:
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Sheet Title:
Roof Plan

Project No:
2215

Sheet No:
A2.2

NOTES:

ROOF FINISH LEGEND

NOTES:

- HATCHED AREAS INDICATE OVERBUILT ROOF & CRICKETS, RE. STRUCTURAL
 - ALL GUTTERS & DOWNSPOUTS TO RECEIVE HEAT TAPE FOR ENTIRE LENGTH, RE. DIAGRAM ON ELECTRICAL PLANS
 - T.O. RIDGE ELEVATIONS GIVEN AT TOP OF ROOF SHEATHING
 - CONTRACTOR TO VERIFY CHIMNEY DIMENSIONS WITH FIREPLACE MANUFACTURERS' REQUIREMENTS
- R-1 TAMKO ASPHALT SHINGLES, HERITAGE PREMIUM, COLOR: NATURAL TIMBER
- R-2 COIL COATED MTL STANDING SEAM ROOF SEE SYSTEM NOTES SHEET A0.1

COIL COATED MTL FLASHING, GUTTERS, AND DOWNSPOUTS

OVERHANGS ARE 2'-0" FROM FACE OF FRAMING TYP. U.N.O.

CHIMNEY CAP - 6" SANDSTONE CAP

ROOF BEAMS - ROUGH SAWN TIMBER

BEAMWORK LEGEND:

- A > 4X10
B > 6X10
C > 6X12
D > 8X12
E > 10X14
F > 12X16

STICK
RIDGE

B.O. RIDGE +20'-2 5/8"
120'-2 5/8" (8359.22')
T.O. RIDGE 8360.68'

T.O. WALL
PLATE

T.O. PLATE
+10'-0"
110'-0"

FLOOR
SPOT ELEV

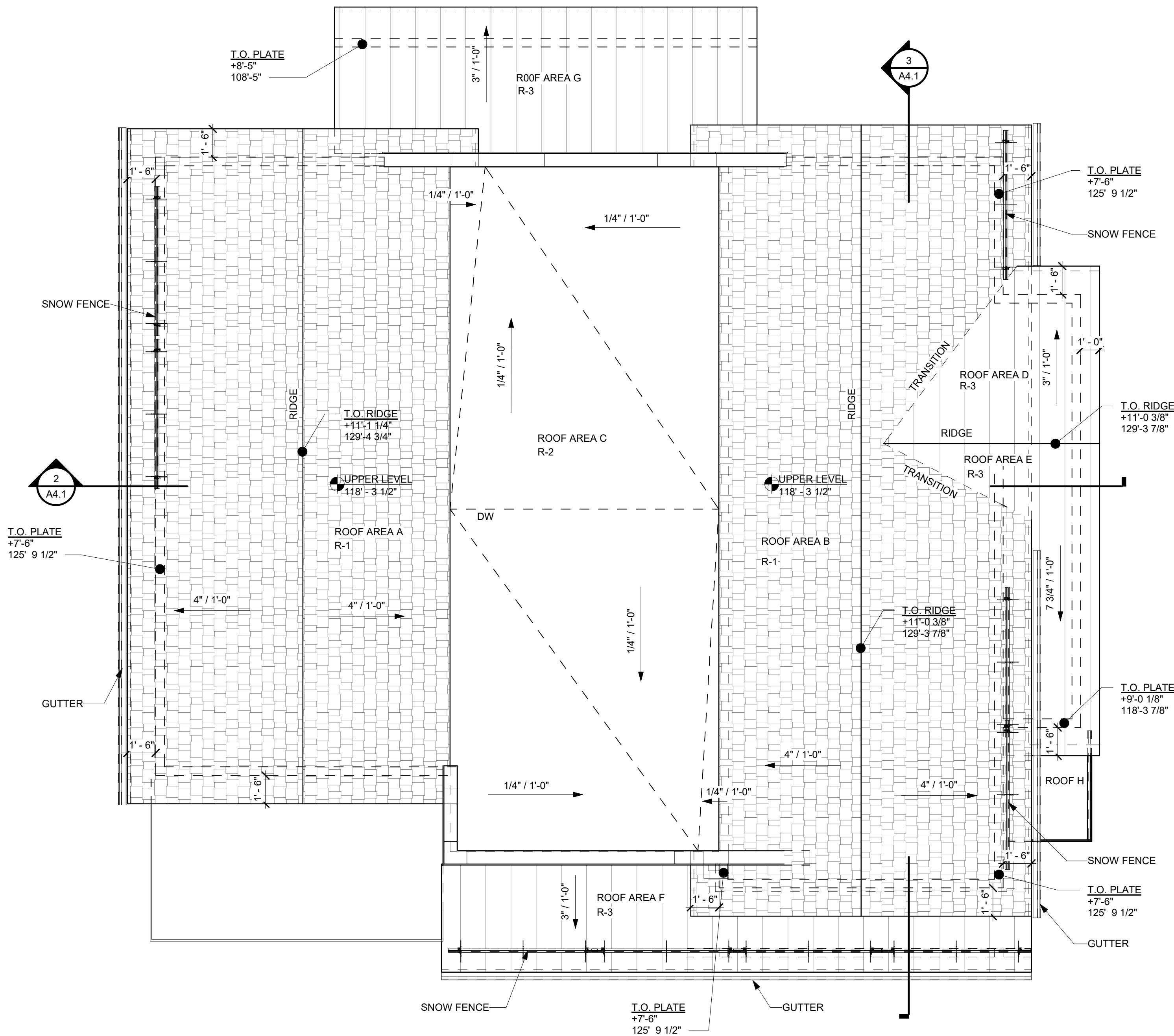
MAIN LEVEL
T.O. FLYWD/CONC/GYP
100'-0" (8466.5')

TRUSS
RIDGE

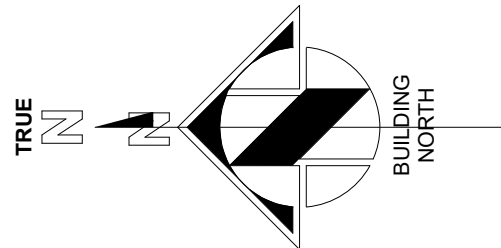
+20'-2 5/8"
120'-2 5/8"
T.O. RIDGE 8360.68'

TRUSS
BEARING

T.O. PLATE
+10'-0"
110'-0"
+16" HEEL



1 ROOF PLAN
A2.2 1/4" = 1'-0"



|

Roof Mark	Roof Area (SF)		Roof Area %		Avg Hgt (Ft)		Weighted Avg (Ft)	
A	609.88	/ by total	26.71	X	28.26	=	754.72	
B	639.98	/ by total	28.02	X	28.23	=	791.10	
C	513.76	/ by total	22.50	X	27.67	=	622.41	
D	74.31	/ by total	3.25	X	28.16	=	91.62	
E	92.11	/ by total	4.03	X	23.99	=	96.78	
F	154.55	/ by total	6.77	X	18.44	=	124.78	
G	173.55	/ by total	7.60	X	10.06	=	76.47	
H	25.51	/ by total	1.12	X	8.90	=	9.94	
	2283.65		100.00		173.70		2567.81	25.68
								25 10 1/2"

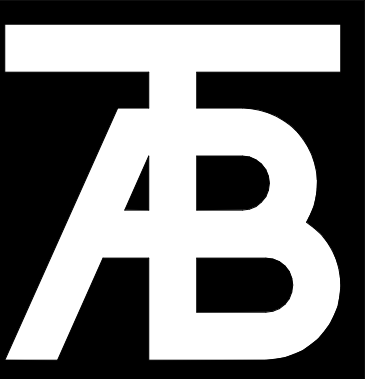
NOTES:

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - SAND
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - SAND
X-3 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - SMOKY ASH
X-4 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - SMOKY ASH
X-5 VERTICAL CORRUGATED METAL SIDING
COLOR - BURNISHED SLATE
X-6 STONE VENEER
- R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF

EXTERIOR ELEVATION GENERAL NOTES:

- EXTERIOR FINISHES INDICATED ON ELEVATIONS SEE "EXTERIOR MATERIAL LEGEND" FOR MATERIALS.
- REFERENCE ROOF PLAN FOR LOCATIONS OF ROOF COMPONENTS NOT INDICATED ON EXTERIOR ELEVATIONS.
- REFER TO MEP AND STRUCTURAL DRAWINGS FOR ANY ADDITIONAL WORK.
- ASSUME ALL PAINTED SURFACES WILL BE REPAINTED THIS INCLUDES BUT IS NOT LIMITED TO: DOORS, DOOR FRAMES, WINDOW FRAMES, AND HEADERS, CEILINGS, HANDRAILS, EXPOSED MECHANICAL CMU ACCENTS, SOFFITS, STRUCTURAL BEAMS, AND ETC.
- PROVIDE ALLOWANCE TO SEAL AND CAULK VARIOUS WALL PENETRATIONS AND HOLES AROUND EXTERIOR PERIMETER OF BUILDING, SIMILAR AREAS SUCH AS HOSE BIBS, PIPES, ETC.
- PROVIDE ALLOWANCE TO REVIEW ALL EXPOSED ELECTRICAL CONDUIT TO DETERMINE FEASIBILITY TO REMOVE OR RELOCATE, INCLUDE IN ALLOWANCE LABOR AND MATERIALS TO REMOVE OR RELOCATE.
- SEE CIVIL PLANS FOR NOTE TO RESEAL ALL HORIZONTAL CONCRETE AND ASPHALT JOINTS AT BUILDING.
- WHEN A PORTION OF A WALL IS PAINTED ASSUME THE ENTIRE WALL IS PAINTED TO INSIDE OR OUTSIDE CORNERS.
- DO NOT SCALE DRAWINGS.
- ALL ANGLES SHOWN ON THE FLOOR PLANS ARE 90 DEGREES UNLESS NOTED OTHERWISE.



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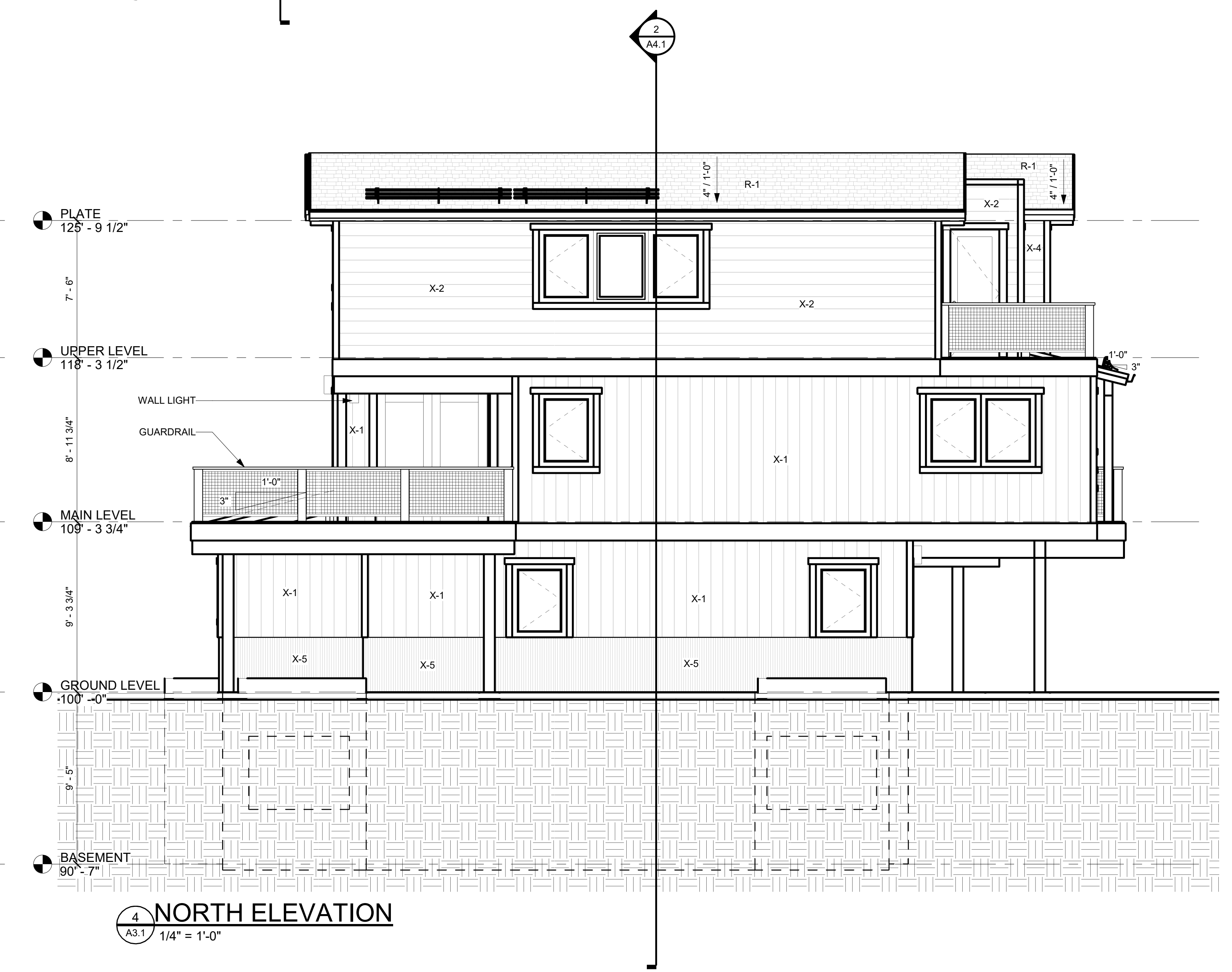
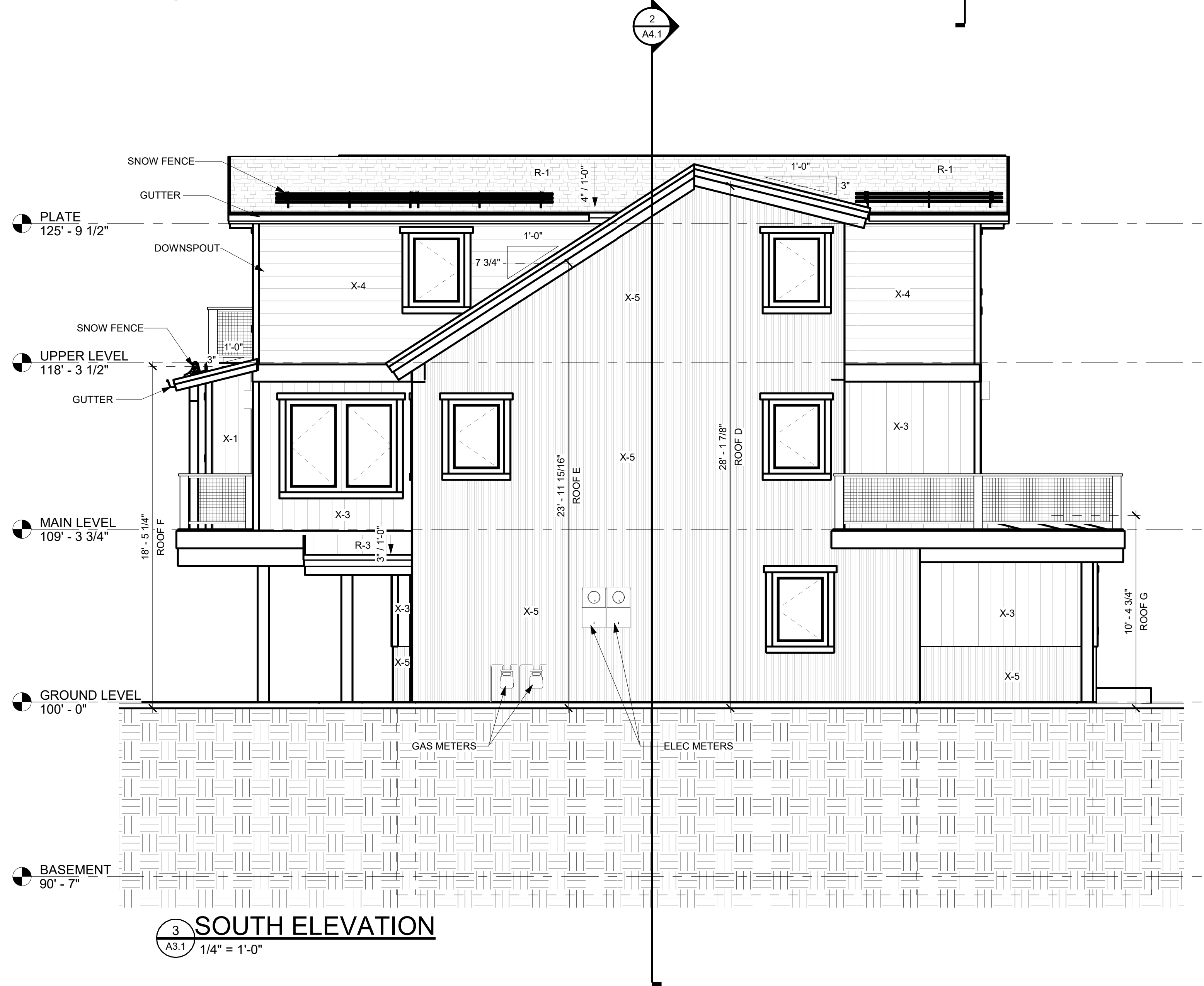
Revisions:		
No	Description	Date

Issue Dates:
DRB - 05/15/25

Sheet Title:
Exterior
Elevations

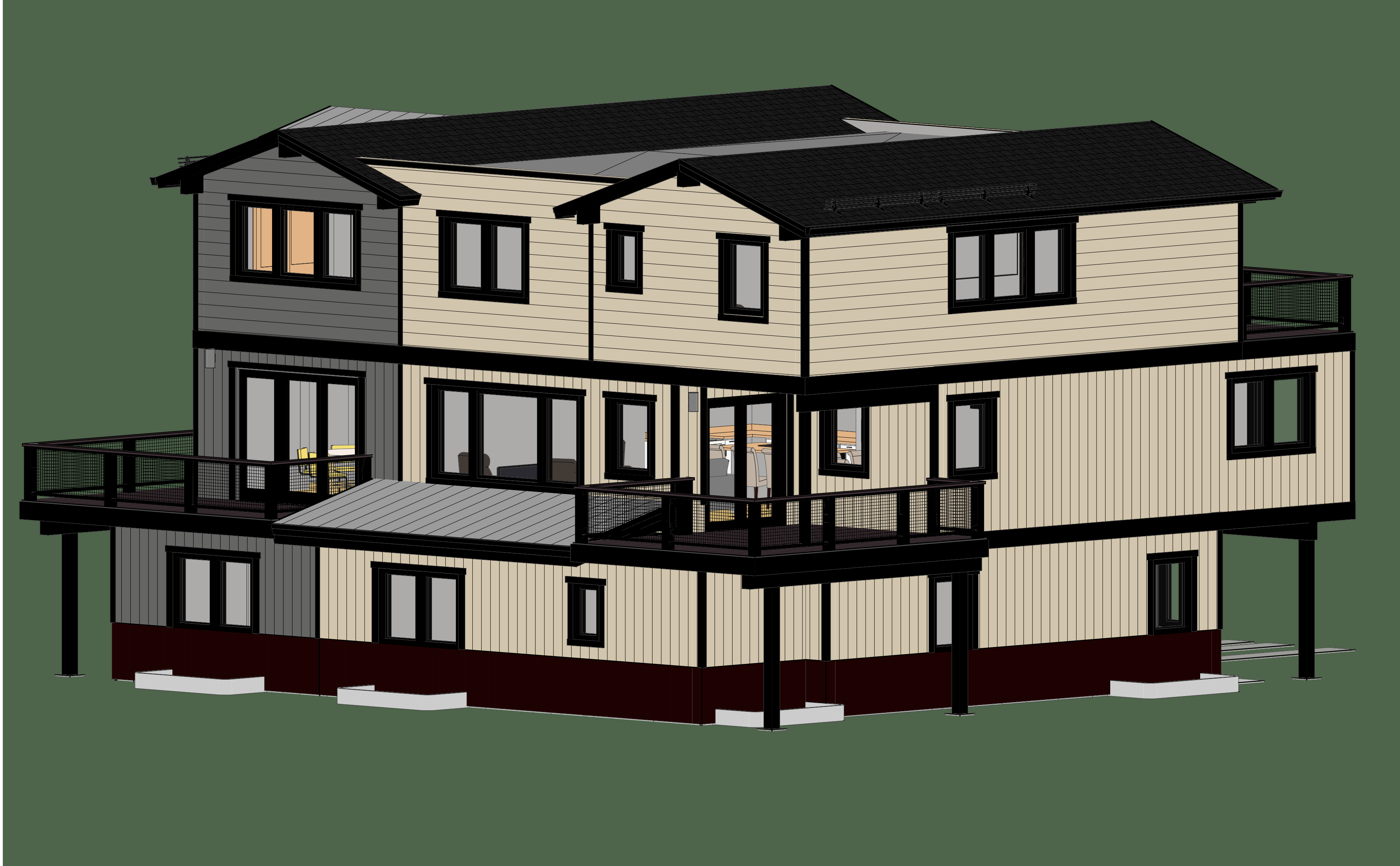
Project No:
2215

Sheet No:
A3.1

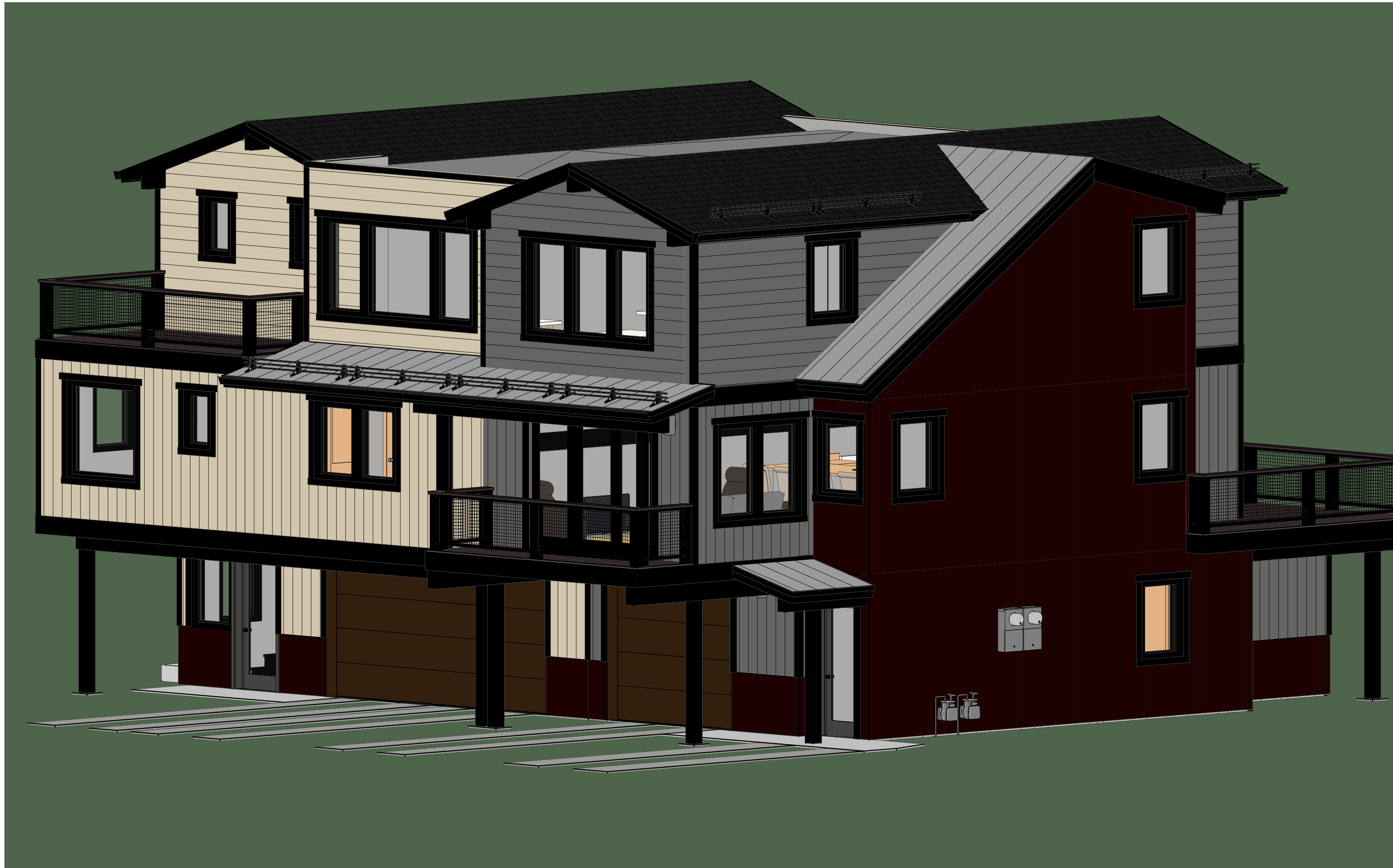




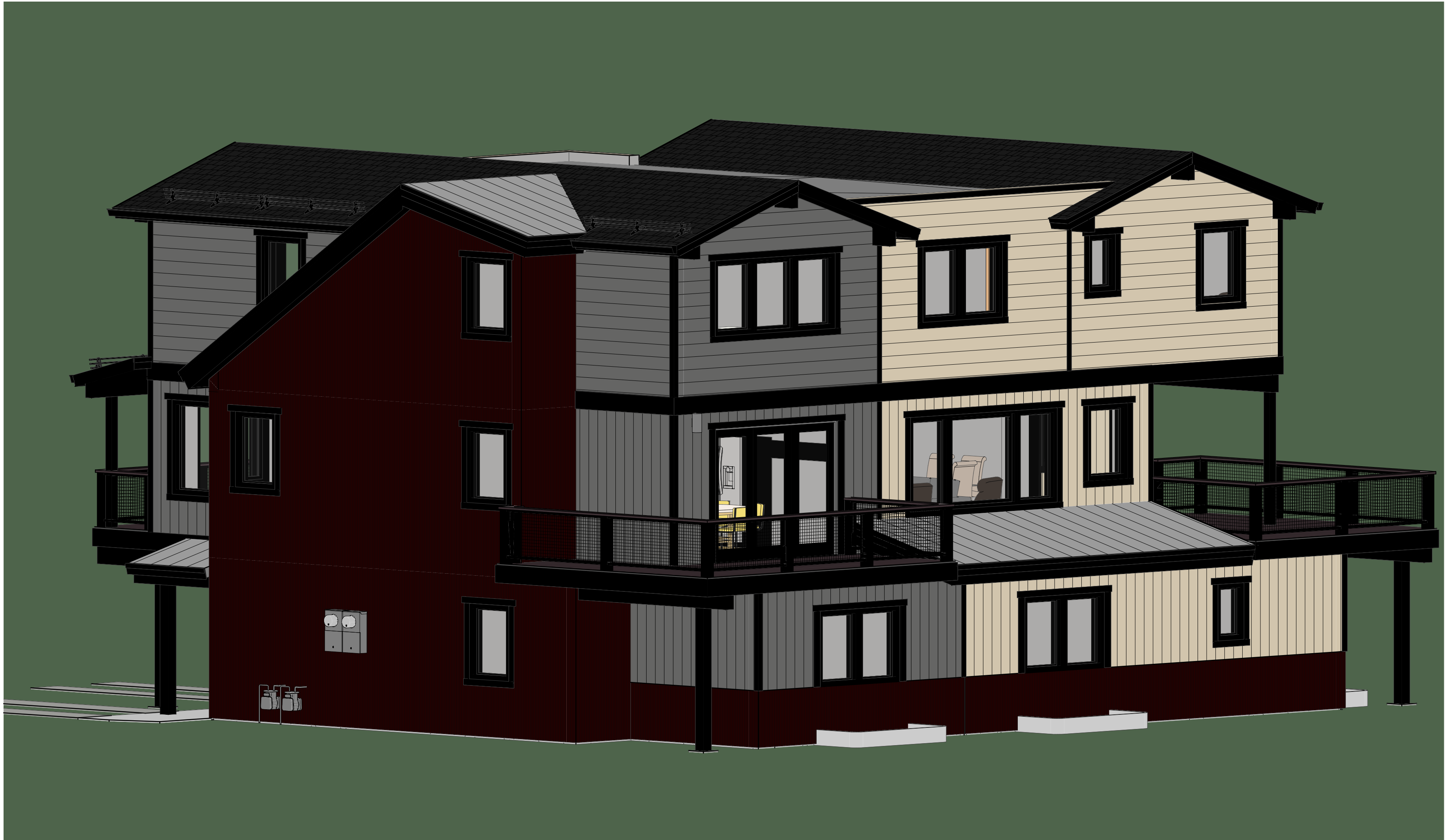
1 NORTHWEST 3D
A3.2



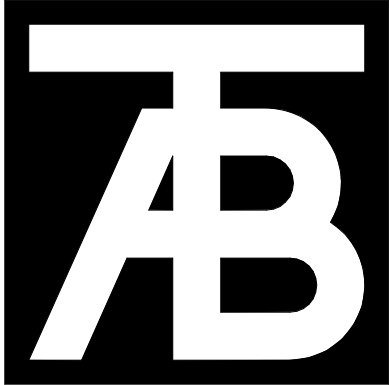
2 NORTHEAST 3D
A3.2



3 SOUTHWEST 3D
A3.2



4 SOUTHEAST 3D
A3.2



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Sheet Title:
**Exterior
Color
Elevations
& 3D**

Project No:
2215

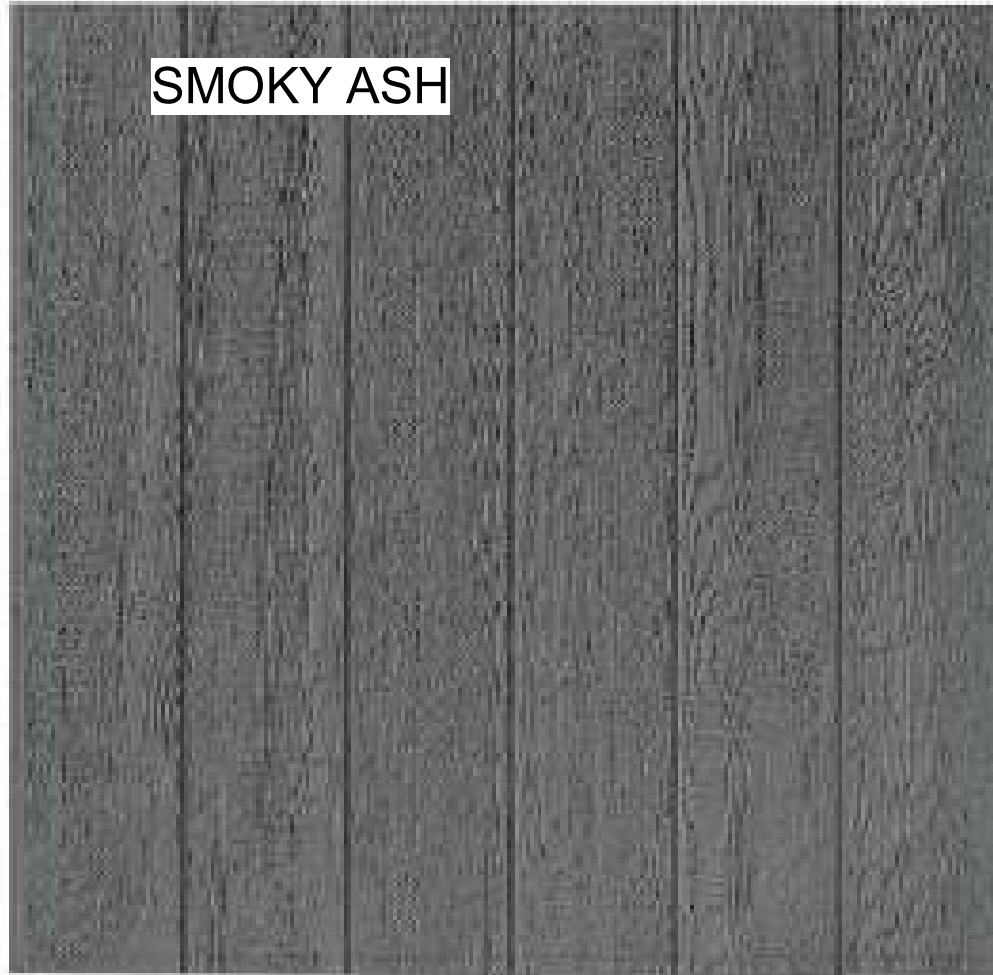
Sheet No:
A3.2



X-1 - LAP SIDING COLOR 1



X-2 - VERTICAL SIDING COLOR 1



X-3 - LAP SIDING COLOR 2



X-4 - VERTICAL SIDING COLOR 2



X-5 VERTICAL CORRUGATED PANELS

BURNISHED SLATE



#366 Courtland Low Rise TV

X-6 STONE VENEER
SIMILAR TO GALLEGOS - #366
COURTLAND LOW RISE

EXTERIOR MATERIAL LEGEND:

- X-1 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - SAND
X-2 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - SAND
X-3 DIAMOND KOTE LP SMARTSIDE VERTICAL SIDING
COLOR - SMOKY ASH
X-4 DIAMOND KOTE LP SMARTSIDE LAP SIDING
COLOR - SMOKY ASH
X-5 VERTICAL CORRUGATED METAL SIDING
COLOR - BURNISHED SLATE
X-6 STONE VENEER

R-1 ASPHALT SHINGLE ROOF
R-2 LOW SLOPE EPDM
R-3 STANDING SEAM METAL ROOF

WINDOWS:
SIMILAR TO SIERRA PACIFIC "BLACK"
WOOD CLAD WINDOWS



GARAGE DOORS:
SIMILAR TO RAYNOR - ASPEN SERIES
RECESSED RANCH GROOVED PANELS
COLOR: WALNUT



R-1 ROOFING
SIMILAR TO GAF DEISGNER SHINGLES
WOODLAN 'CASTLEWOOD GRAY'



R-3 ROOFING
SIMILAR OT WESTERN STATES
2" STANDING SEAM - 12" WIDTH
COLOR: GALVANIZED TO MATCH
CORRUGATED PANELS

GENERATION LIGHTING

8637401-12: Medium One Light Outdoor Wall Lantern

Collection: Barn Light

Featured in the decorative Barn Light collection

1 A19 Medium 75 watt light bulb

Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #:785652069352

Finish: Black (12)

Dimensions:

Diameter: 12"

Width: 12"

Height: 10 5/8"

Weight: 1.8 lbs.

Extends: 17 1/8"

Extends Max: 23 1/8"

Wire: 6 1/2" (color/Black/White)

Mounting Proc.: Cap Nuts

Connection: Mounted To Box

Bulbs:

1 - Medium A19 75w Max. 120v - Not Included

Features:

- Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JAB) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Aluminum - Black

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

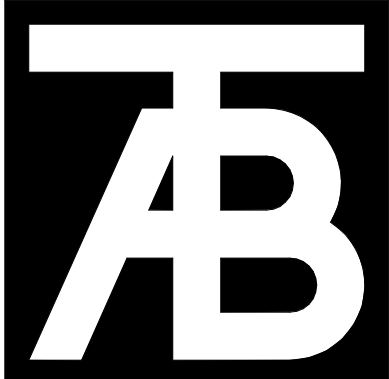
Trilingual (English, Spanish, and French) (990WB_37401-BRL)

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1 1/4	5	4 1/8	6 1/2

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8637401TENS-12	1	785652069352	16.75	14.58	13.25	1.873	4.1	250	Yes
NV Pallet		48		48	40	77	85.556	194		No
NV Pallet		40		48	40	77	85.556	160		No



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Revisions:		
No	Description	Date

Issue Dates:
DRB - 05/15/25

Sheet Title:
Materials

Project No:
2215

Sheet No:
A3.3

MANAGER'S REPORT

June 18th 2025



To: Minturn Town Council

From: Manager Gutierrez

Meetings

Attended

June 9th Zoning Update Open House

June 11th Mayor Earle Bidez; Minturn Planning Commission

June 12th Town Attorney Mike Sawyer; Siri Roman ERWSD

June 13th Stefanie Neubauer Minturn Whiskey; Councilor Lynn Feiger

Upcoming

June 16th Tim McGuire

June 17th Eagle County Commissioners; Eagle County Housing Authority

June 18th Summer QQ Meeting NWCCOG; Regional Housing Action Plan

June 25th Eagle County Community Wildlife Roundtable

June 27th Strategies DC

July 1st Core Transit 10-Year Transit Plan

*Scheduling Councilor one-on-one meetings for those interested.

Key Projects

Minturn Water Treatment Plant

I received the 60% design documents from Jarod Limke, our contracted engineer with HDR, on Thursday, June 12th. As of this report, I have only completed a preliminary review of the submittal. I met with Jarod on June 10th to review the project's history to date. He reported that cost estimates being prepared by the construction firm Glacier are several weeks behind schedule but should be available by the July 10th workshop meeting. On June 13th, I had a follow-up discussion with Jarod regarding the potential incorporation of additional redundancy features for pretreatment, should they become necessary in the future. We also discussed the option of shifting from a Design-Bid approach to a Construction Manager At-Risk (CMAR) model to help manage the project. Jarod noted some of the initial challenges associated with using CMAR in light of the Congressionally Directed Spending awarded to the town for the project. I will explore this further in the coming weeks.

Little Beach Park & Historic Meyer's Barn

I met with staff on June 11th to review the planned park improvements and the proposed relocation of the historic Meyer's Barn. Town Engineer Jeff Spanel is moving forward with the design of the retaining wall replacement and the new access road. I requested an expansion of the topographical survey to include the southern portion of the property, as well as a contemporary boundary survey. Once the survey work is complete, staff will assess the data to determine the most suitable location for the barn's placement. I am working to schedule a meeting with the team involved in the relocation and reconstruction of the barn on Thursday, June 19th. We have until September to prepare construction-ready documents for work eligible for grant funding, and we remain confident that this timeline can be met.