



Agenda

Planning Commission Regular Meeting | 5:30 PM

Wednesday, June 11, 2025

Town Hall / Council Chambers - 302 Pine St Minturn, CO

The agenda is subject to change, including the addition of items 24 hours in advance or the deletion of items at any time. The order of agenda items listed are approximate.

This agenda and meetings can be viewed at www.minturn.org.

Meeting Access Information and Public Participation:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/88245309236>.

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 882 4530 9236

Please note: All virtual participants are muted. In order to be called upon an unmuted, you will need to use the “raise hand” feature in the Zoom platform. When it’s your turn to speak, the moderator will unmute your line and you will have five minutes for public comment.

Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. Call to Order

2. Roll Call and Pledge of Allegiance

3. Approval of Regular Agenda

Opportunity for amendment or deletions to the agenda.

4. Approval of Minutes

A. May 28, 2025

5. Declaration of Conflicts of Interest

6. Public Comment

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.

7. Special Presentations

Presentations are limited to 5 minutes. Invited presentations are limited to 10 minutes if prior arrangements are made with the Town Planner.

A. DDA Plan of Development Workshop - Krieg

8. Design Review and Land Use Public Hearings

A. 0111 Miles End Lane - New Single Family Residence

B. 0071 Miles End Lane - New Single Family Residence

9. Discussion / Direction Items

10. Staff Reports

A. Interim Managers Reports

11. Planning Commission Comments

12. Future Meetings

A. June 25, 2025

B. July 9, 2025

13. Adjourn



OFFICIAL MINUTES
Planning Commission Regular Meeting
Wednesday, May 28, 2025
Town Hall / Council Chambers - 302 Pine St Minturn, CO

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MEETING ACCESS INFORMATION AND PUBLIC PARTICIPATION:

This will be an in-person meeting with access for the public to attend in person or via the Zoom link included. Zoom Link: <https://us02web.zoom.us/j/82745593208>

Zoom Call-In Information: 1 651 372 8299 or 1 301 715 8592 **Webinar ID:** 827 4559 3208

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Public Comments: If you are unable to attend, public comments regarding any items on the agenda can be submitted to Madison Harris, Planner 1, prior to the meeting and will be included as part of the record.

1. CALL TO ORDER - 5:30 PM

Lynn Teach called the meeting to order at 5:30 p.m.

2. ROLL CALL AND PLEDGE OF ALLEGIANCE

Planning Commission Chair Lynn Teach, and Planning Commission Members Michael Boyd, Amanda Mire, Eric Rippeth, and Jeff Armistead.

Staff Members Present: Interim Town Manager Katie Sickles, Planning Director Scot Hunn, and Planner II Madison Harris.

Note: Darell Wegert is excused absent.

3. APPROVAL OF REGULAR AGENDA

Opportunity for amendment or deletions to the agenda.

Motion by Amanda M., second by Eric R., to approve the agenda as presented. Motion passed 5-0.

Note: Darell W. is excused absent.

4. APPROVAL OF MINUTES

- A. May 14, 2025
Motion by Eric R., second by Amanda M., to approve the minutes of May 14, 2025 as presented. Motion passed 5-0.
Note: Darell W. is excused absent.

5. DECLARATION OF CONFLICTS OF INTEREST

Jeff A. has a conflict of interest with Agenda Item 8E 222 Main Street - Addition to a Single Family Residence as he is the applicant.

Amanda M. is neighbors with the Meyer's Barn current place at 25 Harrison Avenue, but does not have a conflict.

6. PUBLIC COMMENT

Citizens are invited to comment on any item not on the regular Agenda subject to a public hearing. Please limit your comments to five (5) minutes per person unless arrangements have been made for a presentation with the Town Planner. Those who are speaking are requested to state their name and address for the record.
No public comment.

7. SPECIAL PRESENTATIONS

Presentations are limited to 5 minutes unless prior arrangements are made with the Town Planner.

8. DESIGN REVIEW AND LAND USE PUBLIC HEARINGS

- A. 0206 Miles End Lane - Changes to Approved Plans
Madison H. introduced the agenda item. This is a request for Changes to Approved Plans. The only thing materially changing is the height of the structure. It is now proposed to be 26 feet 11 and 5/8 inches when it was originally 27 feet 9 and 1/8 inches measured to the midpoint of the roof. Staff is recommending approval.

Amanda M. asked for clarification on what staff can approve.

Open public comment.
No public comment.
Close public comment.

Motion by Michael B., second by Amanda M., to approve 0206 Miles End Lane – Changes to Approved Plans as presented. Motion passed 5-0.
Note: Darell W. is excused absent.

- B. 0125 Miles End Lane - New Single Family Residence
Madison H. introduced the agenda item. This is a five-bedroom, 5,990 square foot single family home measured to the midpoint of the roof at 27 feet 10 and 3/8 inches under the 28 foot height limit. Parking is adequate, with four off-street spaces, two of which are provided in the garage which is allowed per the approved PUD Guide. All setbacks are respected and the proposal is under the allowable lot and impervious coverage limitations. They have more snow storage than is required by the code at 488 square feet. Staff has identified no issues and recommends approval of the plans.

Open public comment.
No public comment.
Close public comment.

Motion by Eric R., second by Amanda M., to approve 0125 Miles End Lane – New Single Family Residence as presented. Motion passed 5-0.

Note: Darell W. is excused absent.

C. 491 Main Street - New Single Family Residence - Conditions Update

Madison H. introduced the agenda item. At the April 28, 2025 meeting, the Planning Commission approved the plans for 491 Main Street with the caveat that the following conditions be addressed at the May 28, 2025 meeting:

1. Correct discrepancies on pages 75, 76, and 81 of the packet.
2. Submit new plan for parking consolidating all onto the property
3. Ensure that the clear vision on the corners is respected and should be shown on the plans.
4. That these issues be readdressed at the May 28, 2025 meeting.

The discrepancies mentioned are in regards to the lot size shown as three different numbers between the three documents (application, plan set, and staff report) which subsequently effects the amount of snow storage required, as well as affects lot and impervious coverage percentage calculations. The lot size has been confirmed by the surveyor to be 4,801 square feet and all calculations will be based off this number. All percentages/square footages are under the allowed amount. The dimension of 15 feet at the corner of Boulder and Meek has been provided and it clearly complies with the clear vision requirements. Staff has provided an exhibit demonstrating this fact. Parking is now entirely provided on the property. Staff is recommending approval.

Open public comment.

No public comment.

Close public comment.

Jeff A. has concerns with the positioning of the car space in front of the garage.

- Scot H. stated that there's nothing in our code that prohibits it.

Amanda M. asked if in the future the parking doesn't work, they can come back and request an encroachment agreement. Asked if they are still paving to the street.

- Madison H. stated that anyone can apply for an encroachment agreement at any time if they would like to occupy Town land/ROW. They are still paving to the street.

Michael B. appreciates the applicant coming up with a plan to comply with the code. It's obviously a little bit of an inconvenience to let someone out of the garage, but appreciates making it work.

No motion due to it already being approved at the April 28 meeting, this is just an update on the conditions.

D. 801 Cemetery Road - Meyer's Barn Relocation to Little Beach Park

Scot H. introduced the topic. This was tabled from the last meeting due to some last minute info/questions raised by the Interim Town Manager Katie Sickles posing questions about how this fits into all of the other things happening at Little Beach Park. Staff has been working with the Applicant since 2023 to bring this project to fruition. We need to respect the Little Beach Sub-Area Master Plan and make sure that this building arrives in the right place. We've engaged Pedro Campos, Zehren and Associates who did the master plan to see how this fits in.

Ken Halliday, 811 Main St., Applicant.

Have been working on this with Woody Woodruff and Kelly Toon for the last couple of years. This is a Town project, they are just volunteers facilitating this. The Town needs to look at this

as a Town project with them as volunteer partners. Really wants Pedro to be involved so that the barn is placed in the correct spot.

Scot H. said that initially the Town is concerned about the timing of things. We know that there's some flexibility in the timing of deconstructing and reconstructing the structure.

Mr. Halliday described the whole process of deconstructing and reconstructing.

Amanda M. asked if there would be any protection around it to keep varmints out of the structure. Asked if the front porch is being moved as well.

- Mr. Halliday stated that they are moving everything in Phase 1 and then Phase 2 build it out. Haven't really planned a way to keep the racoons out.
- Amanda M. asked if there is a plan for the roof as it causes slides.
- Mr. Halliday said that they should put clips on it.

Eric R. thanked Mr. Halliday for taking on the project and raising the money to keep this historical.

Michael B. suggested a utility locate prior to pouring a foundation.

Lynn T. would like to have a groundbreaking ceremony.

Jeff A. suggested planning ahead and putting pipe in even if it's never used for drains or a toilet.

Open public comment.

Madison H. inserted written comments received below.

I live almost directly across the river from Little Beach Park at 822 Main Street and am in complete agreement and you have my full support of the proposed relocation of Meyer's Barn to the park. Thank you.

David McMillan

Close public comment.

Motion by Jeff A., second by Amanda M., to approve 801 Cemetery Road – Meyer's Barn Relocation to Little Beach Park with conditions. Motion passed 5-0.

1. The Applicant(s) shall work with the Town of Minturn to produce a detailed site plan prepared by a professional land planner at no cost to the Applicant prior to or concurrent with any building permit application. The site plan will show, at a minimum and to scale, all existing and proposed contours, grading and drainage details, and any revegetation and/or planting details recommended by the professional land planner. The site plan will show how the barn structure will be placed to allow construction of other buildings such as bathroom facilities in or around the same general area of the site.
2. The Applicant(s) shall work with the Town of Minturn to produce a detailed construction management plan to be prepared by a professional land planner at no cost to the Applicant indicating the limits of disturbance and any required fencing, erosion control, and noting proposed construction commencement date, anticipated completion date, and any construction time limitations to limit disruption and disturbance of Little Beach Park.

Note: Darell W. is excused absent.

Note: Jeff A. recused himself at 6:10 p.m.

E. 222 Main Street - Addition to a Single Family Residence

Madison H. introduced the agenda item. This is a new, three-bedroom, 1,406 (gross) square foot addition to a single-family residence located at 222 Main Street in the Old Town Mixed-Use Zone District. The plans show a two-story, three-bedroom addition with a maximum

building height - measured to the midpoint of the roof – of 26 feet 6 inches measured to existing grade which is the most restrictive, under the maximum allowable 28-foot limit within the Old Town Mixed-Use Zone District. Parking is adequate, with four off-street spaces in the driveway. As a point of note, there is a typo in the staff report which states “The plans show the first floor with the two existing bedrooms four bedrooms and primary living area, and the second floor has the three remaining bedrooms.” That should read “The plans show the first floor with the two existing bedrooms and primary living area, and the second floor has the three remaining bedrooms.” The Planning Commission should note that staff did not include the paver walkways and patio in the calculations for impervious area as we have not included those in prior applications. So the applicant’s table on Sheet # Siteplan within the plan set does not entirely match up with staff’s calculations within the staff report. Staff is also aware of the fact that this building straddles a lot line, so as we have done in the past, Planning Commission could consider a condition of approval an Amended Final Plat eliminating that interior lot line. Staff is recommending approval.

Jeff Armistead, 1632 Main Street, Applicant’s Representative.

Described the lot situation. Are currently going through the quiet title process for the sliver to the north. The addition is entirely within the setback even if the lower portion encroaches.

Eric R. said that his question about the side setback was already answered.

Michael B. definitely suggests removing the interior lot line. Likes the look of the project.

Open public comment.

Kristi Bloodworth, 504 Water St, 232 Main St.

Her house sits crooked on the lot line. The whole side of the house to the north is within the setback. In 2019 they applied to put an addition on. Jen and Joe came to the last meeting stating that they couldn’t imagine the closeness of the two homes when it was the Bianchi’s who created the setback issue with their addition in the early 2000’s. The roof could shed snow on their property. Quoted the design guidelines stating that snow cannot be allowed to shed on other people’s property. A structure shall not be placed on a lot that will cast substantial shadow on other people’s property. A two story building that close will likely cause ice dams on that side of the house. When they were proposing their addition they had to do a solar study to calculate shadows. Quoted Massing and Scale. They have a historic sized home. Their rendered drawings don’t show any structures around them which is misleading. Main concern is the snow shed. This is too big for the space and the roof pitch coming towards her house needs to change.

Nathan Bloodworth, 504 Water St, 232 Main St.

It comes down to the front gable and the subsequent snow accumulation. There’s no snow fencing or clips noted on the plans which is concerning. They will have to do some surgical demolition with helical piers to enforce the addition. There is potentially an underground river during run-off. More of a logistical concern. If any water comes over the property that’s a concern.

Mr. Armistead doesn’t think Jen or Joe would have issues conditioning the approvals in regards to the snow shedding from the front gable which could either be snow clipped or snow fenced. The eaves would also likely need to be heat-taped. The intention is not to shed any water or snow on the neighbor’s property. As far as sunlight and shading and view corridors, they did talk about it. The path of the sun in the winter time he believes that the house to the south of the Bloodworth’s will cause more shade than the Bianchi’s. Doesn’t really think this is an issue. The front of the houses takes more sun than anything rather than the sides. For view corridors, doesn’t think that there’s anything in the code memorializing it. Jen and Joe have built to what the code allows them to do which is build to the setback, they didn’t cause the

setback issue. Concerning it being too big for the lot, the code provides dimensional limitations for a reason and this meets those limitations. For the structural concerns, structural engineers designed the plans and that will be reviewed at the building permit process. Not proposing any water or snow discharge on to the neighboring property.
Close public comment.

Michael B. clarified the positioning of the Bloodworth's house in relation to the property line. Anything in the front will still happen in regards to the sun. Recommends snow clips on the metal roof on the front as well as the Bloodworth side. Heavily suggests eliminating the interior lot lines.

Eric R. also in favor of the snow control on that side of the structure.

Joe Bianchi, 222 Main Street, Applicant
Explained that the gable on the front is a very small area.

Mr. Armistead stated that the valleys will need heat-tape and then adding a gutter and snow clips.

Lynn T. suggested heat-tape in the gutters to avoid water issues. Asked if they have any existing groundwater issues.

- Mr. Bianchi said that under their garage slab they ran into groundwater, but their crawlspace doesn't get any water.
- Lynn T. also in favor of eliminating the lot lines.

Amanda M. sympathizes with the Bloodworth's as she lives in a single story next to a two story, but they have an obligation to apply the code and this meets the code. Asked about firewise guidelines.

- Mr. Armistead said that the side facing the Bloodworth's is all non-combustible materials.

Jen Bianch, 222 Main St., Applicant.

All they asked of the Bloodworth's is that their addition comply with the code, and they left.

Michael B. clarified that they are in process to eliminate the lot lines

- Mr. Armistead said yes.

Motion by Michael B., second by Amanda M., to approve 222 Main Street – Addition to a Single Family Residence with conditions. Motion passed 4-0.

1. A recommendation that snow retention be put wherever you choose you need it, but that there be a condition that the south west corner of structure have snow clips, gutter, heat-tape.
2. That the lot line elimination between lots 3 and 4 be completed prior to final CO and that if the quiet title gets held up that does not stop the final CO being given.

Note: Darell W. is excused absent and Jeff A. is recused.

Note: Jeff A. unrecused himself.

9. DISCUSSION / DIRECTION ITEMS

10. STAFF REPORTS

- A. Manager's Report – Brunvand
- B. Manager's Report - Sickles

11. PLANNING COMMISSION COMMENTS

Lynn T. asked Scot H. when they will get Chapter 16 back.

Scot H. said that it would likely be July as we have been focused on the open houses.

Jeff A. asked if the open houses are the only option for the public to give their opinion.

No, the Planning Commission meetings are open to the public.

Michael B. suggested having a demographic question at the beginning of the survey. Thanked Katie for filling in.

Jeff A. stated that the concert series will start again soon on Thursday nights.

Amanda M. stated that the GoPro games will be in two weeks and encourages residents to show out along the river.

12. FUTURE MEETINGS

A. June 11, 2025

B. June 25, 2025

a. Eric R. will not be here

13. ADJOURN

Motion by Amanda M., second by Jeff A., to adjourn the regular meeting of May 28, 2025 at 7:19 p.m. Motion passed 5-0.

Note: Darell W. is excused absent.

Lynn Teach, Commission Chair

ATTEST:

Scot Hunn, Planning Director

To: Minturn Planning Commission
From: Cindy Krieg, Economic Development / Deputy Clerk
Date: 06/03/2025
Agenda Item: Staff Update Regarding the Upcoming Minturn DDA
Plan of Development Workshop



INTRODUCTION / REQUEST:

The Minturn Downtown Development Authority is entering into a service agreement with Ayres Associates for the preparation of a Plan of Development. A Plan of Development is a requirement per state statute, and will establish the goals and priorities of the DDA, and will help shape the work plan for the DDA board. Next steps will involve an in-person intensive workshop (late summer or fall – dates TBD). In addition to the DDA board, there will be community outreach that will take place during this time (to downtown stakeholders), and the following groups are also being invited / encouraged to participate:

- Planning and Zoning department
- Planning Commission
- Town Council

ANALYSIS:

A DDA Plan of Development serves as a roadmap for how the DDA will use its powers and funds to improve the downtown area. It is important that we establish a professional, well-crafted plan as this will serve as our guiding document for several years. Ayres Associates has significant experience in this space, having done this work for other Colorado municipalities. Minturn in particular has been looking at the Fraser DDA Plan of Development as a possible example of a strong template to work from. Ayres did the Fraser Plan of Development.

COMMUNITY INPUT: Community input was gathered initially through the DDA outreach and education process that occurred prior to the DDA election. The in-person workshop will involve Ayres Associates being on the ground in Minturn for approximately 2.5 days, meeting with the board and other groups, and talking with downtown businesses and other stakeholders to build on that early input. Ayres will draft the plan onsite during this work and will send a draft plan to the DDA board for approval. There will likely be some back and forth editing, but the final version will come before Planning Commission and Town Council for approval. Once approved, the final document will be submitted to both the State and the County to be registered.

BUDGET / STAFF IMPACT: The cost for Ayres Associates services is \$15,000 and is being covered the Town of Minturn out of the 2025 Town budget.

STRATEGIC PLAN ALIGNMENT:

The establishment of the Minturn DDA is a specific priority laid out in the 2025 – 2027 Strategic Plan. The Plan of Development is an integral part of laying the groundwork for how the DDA will operate.

RECOMMENDED ACTION OR PROPOSED MOTION:

No motion or action needed. Planning & Zoning staff, and Planning Commission members, are encouraged to participate in the workshop to the extent possible.

ATTACHMENTS:

- Outline of Ayres Associates scope of work / process

AYRES ASSOCIATES – MINTURN DDA – PLAN OF DEVELOPMENT SCOPE OF WORK

Project Description

Ayres will assist the Town of Minturn and the DDA complete a **DDA Plan of Development** which includes summary information, statement of vision, proposed programs and projects, and an **Implementation Work Plan**. The plan will meet the statutory requirements for forming a DDA in Colorado, but we do recommend a separate legal review that is not included in this proposal. Given the progress made by the Town and the DDA stakeholders, we propose to complete a draft of the Plan over a 2.5-day workshop. Our team would be on the ground in Minturn, engaging with stakeholders and the community on critical issues while drafting the plan. At the workshop's end, we deliver the preliminary draft plan to the DDA Board, community stakeholders, and the Town in an editable format. To avoid an extended planning process, we believe in capitalizing on your momentum and preparing you to take advantage of Tax Increment Revenue opportunities. Following a round of review and client edits, we will complete a final draft that is fully formatted and ready for the next steps. Under a separate document, we will provide a 3-to-4-page work plan for the Town and DDA board. It will include directions on next steps as it relates to project goals. This will include direction on items such as an incentive policy, façade program, marketing collateral, staff responsibilities, and/or event support.

Proposed Scope of Services

Day 1 – DDA Foundation and Formation

A. Team Kickoff – Introduction and Education Session (Part I):

We propose to start the session with an informal **Education Session** for the DDA Board, Town Staff, and community stakeholders. The session's purpose is to introduce our team and get to know you and what makes Minturn tick. We want to know who you are and what you love best about Minturn. The time will be used to define roles and responsibilities to ensure the workshop is the best experience possible.

The workshop's discussions will involve the following topics:

- Workshop agenda and expectations for the participants.
- How Tax Increment works and what it can be used for.
- Understanding the flow of revenue and the “special fund” as defined by state statute.
- Identifying potential public improvements.
- Development partnerships, financing structures and development agreements.

Our goal is to use this time to make sure that the parties are aligned with the vision's approach and have a chance to have their voices heard. In addition to local business and property owners, we encourage participation from legal staff, finance department, planning and engineering, the Town Clerk, and the building department if available. Furthermore, we would also be open to having a representative from the Town Board and the Planning Commission participating in this session.

B. Preliminary Strategy (Part II):

During the second part of this session, we propose to conduct a **Strategy Work Session** with the DDA Board, staff and stakeholders to define the Vision, Mission, and Role of the Minturn DDA. To learn more about what motivates different audiences in your community, we use the Strategy Work Session to identify unique perspectives and key issues that each audience member cares about most. By understanding and valuing highlighted challenges, discussions will be structured to address concerns and help to create a foundation for a successful DDA.

To the greatest extent, we believe it is important to include the following individuals and groups:

- Retail business owners
- Restaurant/Bar owners
- Property owners
- Developers
- Elected officials
- Philanthropic Community
- Banks/Financial Institutions
- Community members at-large

We seek to identify similarities and differences while working to identify hot-button issues. By taking this process, we anticipate any opposition and work to bring those voices into a constructive process that is owned by the stakeholder group. Our team will complete a workshop summary and create a framework to discuss the DDA initiative before we step foot into a business.

We view the Kickoff and Strategy Workshop as an important step to gather input, establish overall direction of the DDA and to help enlist support from stakeholders. Because the establishment ultimately relies on buy-in and support from owners in the district, our process for exploring the value of a DDA is essential to success. The most important component of this stage is not the technical steps to set up a DDA. Rather, hearing and reflecting on goals and concerns from local businesses and stakeholders is the most important factor.

C. Community Walkabout/Work Session:

The balance of Day 1 will be used to explore the Downtown area and visit retail business owners and property owners at their locations. We have found that participants are more likely to engage and ask questions about the DDA when outside of group settings, which helps to gain better insights from local businesses.

We plan to spend approximately two to three hours walking through the downtown area, meeting with business and property owners. While we intend to schedule a handful of key meetings in advance,, we prefer to allow for some flexibility to accommodate spontaneous conversations and unplanned encounters. In the evening, we prefer to set up in a public location and invite any participants to stop by for additional discussion while we compile our notes and begin the draft. At the end of the day, we plan to locate to a public location to return to a designated public space to compile notes, update the draft Plan of Development and provide an opportunity for informal discussions with participants who wish to offer further insights or feedback.

Day 2 – Deeper Dive and Focused Planning

A. DDA Board Check-In and Review:

To start off day two, we present our preliminary findings to the DDA Board Chair and Town representatives for feedback. We want to share our observations, test different ideas and programmatic approaches and make sure we are still on track.

B. Individual Meetings

For day two, we schedule individual meetings with community leaders, elected officials and other stakeholders. We like to meet people in their place of business or in public places. We believe it is important to remain visible and accessible during the 2.5 days on the ground. We are also open to meeting with members of the local school board, county commissioners, assessors office and other influential parties at the direction of the client.

We would also use this time to tour potential development sites and project areas. Our team will photo document the sites to build project narratives on and receive input from the stakeholders and Town staff. These are likely to be the sites that drive Tax Increment Revenue and will be included in the Plan of Development as needed.

C. Preliminary Plan of Development

Between meetings and other engagement activities, we use our time to draft the Plan of Development and a presentation for the following morning.

Day Three – Plan of Development (1/2 day)

We present the draft plan of development to the DDA Board and Town Officials. We walk through the elements of the plan and highlight areas of importance. At the conclusion, we share the plan in an editable format.

We will allow for one round of edits by the client to be completed within one week of submittal. Once we receive the edits, we will format the Plan of Development using the imagery and other illustrations. The final formatted plan will be provided to the Town of Minturn in .pdf format no fewer than 10 business days from the receipt of the edits from the client. The DDA Work Plan will be provided within 10 business days from the submission of the Plan of Development for review and comment. We will provide one round of client edits to the DDA Work Plan following submission.

FINAL DELIVERABLE: Minturn DDA/Plan of Development
DDA Work Plan

Time Schedule

Work will begin with upon the signing of this Agreement and will be completed by October 15, 2025.

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

0111 Miles End Lane

Hearing Date:	June 11, 2025
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Candice Wilhelmsen
Representative:	Taylor Hermes & Rick Hermes, Minturn North Construction Company
Legal Description:	Subdivision: MINTURN NORTH PUD Lot: 25
Address:	0111 Miles End Lane
Zoning:	Game Creek Character Area – Minturn North PUD Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicant, Candice Wilhelmsen, requests Final Plan review of a new, three-bedroom, 3,342 (gross) square foot single-family residence located at 0111 Miles End Lane in the Game Creek Minturn North PUD Zone District. The Applicant’s representatives, Taylor Hermes and Rick Hermes of the Minturn North Construction Company, have been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two-story, three-bedroom structure with a maximum building height - measured to the midpoint of the roof – of 27 feet measured to existing grade which is the most restrictive,

under the maximum allowable 28-foot limit within the Game Creek Minturn North PUD Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with four off-street spaces, two of which are provided within the garage and two in front of the garage. The plans show the lower level with two bedrooms and family room, and the main level has the master suite and primary living area.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) *Administrative procedure.*

- (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*
- (2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. *The proposal's adherence to the Town's zoning regulations.*
 - b. *The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. *The proposal's adherence to the Design Standards.*
- (3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
 - a. *That the proposal is in conformance with the Town zoning regulations.*
 - b. *That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. *That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 0111 Miles End Lane meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

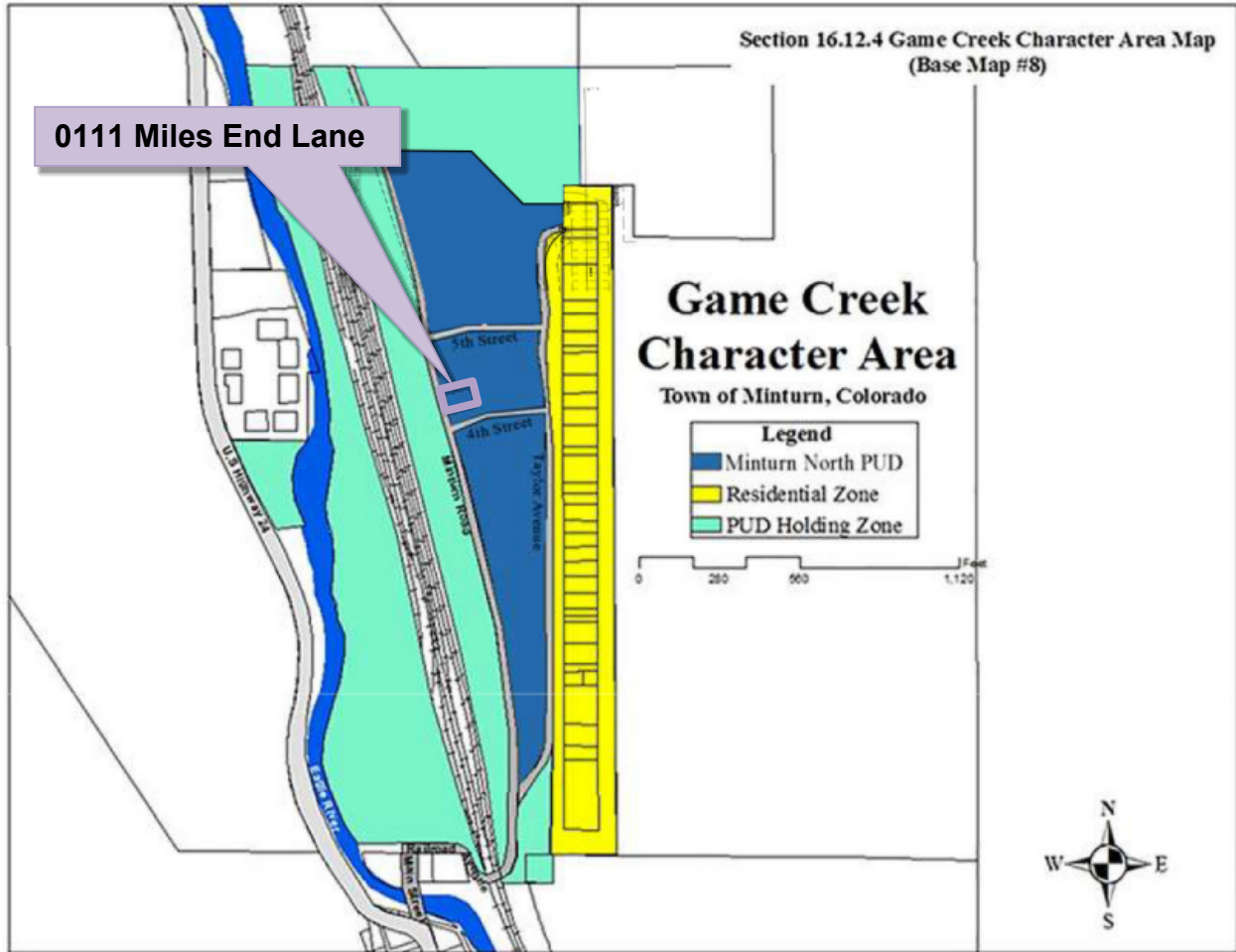
The subject property is located within the “Game Creek Character Area” Minturn North PUD Zone District Planning Area 1 (PA-1), described as follows:

“The primary intent of this Planning Area is to create a market rate single-family residential use zone surrounded by common area and open space.”

- Ordinance No. 15 – Series 2023 Minturn North PUD Guide

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Figure 1: Game Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Minturn North PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	7,230.96 sq. ft.	7,230.96 sq. ft. (.166 ac.)
Maximum Building Height:	28 feet	27 feet
Minimum Front Setback:	20 feet	20 feet
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10+ feet

Maximum Lot Coverage:	50% (3,615.48 sq. ft.)	2,306 sq. ft. (31.89%) Proposed
Maximum Impervious Coverage:	60% (4,338.58 sq. ft.)	3,078 sq. ft. (42.57%) Proposed
Minimum Snow Storage Area:	5% of Lot Area 7,230.96 sq. ft. x .05 = 361.55 sq. ft.)	372 sq. ft.
Parking:	4 spaces	4 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not

overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

Staff has identified no issues.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0111 Miles End Lane generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

Staff is **recommending approval** of the plans.

May 27, 2025

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 111 Miles End Lane
Lot 25, Minturn North PUD
DRB submittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled “C. Wilhelmsen Residence; 111 Miles End Lane, Lot 25, Minturn North, Minturn Colorado” prepared April 17, 2025 by Eggers Architecture Inc. (Plans) included in the DRB application for Lot 25, Minturn North PUD. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

“Final Plat: Minturn North PUD” recorded March 4, 2024 (Reception No. 202402234) has been included as the Boundary Survey. This plat and associated title commitment were reviewed by the Town and the plat is suitable as the Boundary Survey for this application.

Paragraphs f through i:

Sheet C.5 of the “Minturn North PUD Overall Grading and Drainage Plan; Construction Plan Set 5/1/24” prepared by Boundaries Unlimited Inc. is included in the application. The Town issued a Grading Permit based on the Construction Plan Set and Sheet C.5 shows the grading and utilities underway at Minturn North. This plan reflects the basis for design, and fulfills the requirements of Paragraphs f through i.

Section (C) (3) Site Plan:

Sheet C1 of the Plans “Lot 25 Minturn North PUD; Site Grading and Drainage Plan” prepared April 17, 2025 by Boundaries Unlimited presents the proposed site grading and drainage and fulfills the Site Plan requirements.

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net



Madison Harris

Re: 111 Miles End Lane
Lot 25, Minturn North PUD
DRB Submittal Review

Project No. 24-0001

- a. Sheet BH1 provides Building height information necessary for Planning Staff review.

Section (C) (4) Grading & Drainage Plan:

Sheet C1 of the Plans "Lot 25 Minturn North PUD; Site Grading and Drainage Plan" prepared April 17, 2025 by Boundaries Unlimited presents the proposed site grading and drainage and fulfills Grading and Drainage Plan requirements.

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. The Town and Inter-Mountain Engineering are relying on the design professional's work. Review by the Town of Minturn or Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us with additional questions.

Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

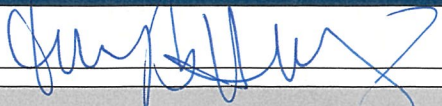
CC: Scot Hunn, Arnold Martinez





DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner1@minturn.org

Project Name:			
Minturn North – Wilhelmsen Residence			
Project Location			
Street Address: 111 Miles End Lane			
Zoning: Residential	Parcel Number(s): 2103-262-30-026		
Application Request:			
Design review of new single-family home			
Applicant:			
Name: Taylor Hermes & Rick Hermes – Minturn North Construction Company, LLC			
Mailing Address: PO Box 2633 Edwards, CO 81632			
Phone: 970-926-1720	Email: THermes@ResortConceptsCO.com		
Property Owner:			
Name: Candice Wilhelmsen			
Mailing Address: 201 Gore Creek Drive Vail, CO 81657			
Phone: 970-390-4334	Email: candice@axelsltd.com		
Required Information:			
Lot Size: 0.166 ac	Type of Residence (Single Family, ADU, Duplex) SFH	# of Bedrooms 3	# On-site Parking Spaces 2
# of Stories: 2	Snow storage sq ft: 372 sf	Building Footprint sq ft: 2,306 sf	Total sq ft Impervious Surface: 3,078 sf
Signature:			
			4/23/25
Fee Paid: _____ Date Received: _____ Planner: _____			

DESIGN REVIEW APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant Staff

Application Fee (Non-Refundable application fee shall be collected)

- Design Review Board - \$200.00

Letter of Intent

-- What is the purpose of the project including;

- Relevant Background

- Current Status of the Site

- All Proposed Uses and Structures

- How the Proposal Differs from what already exists

- Information regarding Easements or Dedicated Tracts, etc.

Vicinity Map

-- Directional Map indicating how to get to the Property involved in the request.

- Zoning of Property

Site Plan showing Precise Nature of the Proposed Use –

To Scale

- Scaled Drawings of Proposed Design of Structure
 - Plan View and Sections

- Building Heights – all 4 directions N/S/E/W

- topography

- Building Location and impervious coverage

- Setbacks

- Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant

- Parking Plan

- Traffic Circulation
 - Location and Width of Existing and Proposed Access Points
 - Location of Existing Driveways and Intersections

- Landscaped Area – Plan including existing and proposed vegetation.

- Approximate Location of Existing Wooded Areas and Rock Outcrops

- Location and Type of Existing and Proposed Easements

- Utility Easements

- Drainage Features

- Snow Storage areas expressed in square feet as a percentage of the overall site area

Preliminary Building Plans and Elevations

- Indicates Dimensions

- General Appearance

- Scale

- Interior Plan for the Buildings

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Elements needed on the Site Plan

- Scale
- North Arrow
- Date Prepared
- Lot Dimensions, Area, Entire Site Acreage

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Architecture Details – Materials Board

- Windows – Placement and Color
- Doors – Placement and Color
- Siding – Type and Color
- Roof Material – Type and Color
- Paint Color

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Boundary Survey with a stamp and signature of a licensed surveyor

- Date of survey (survey date must be within 6 months of the project application date)
- Right-of-way and property lines; including bearings, distances and curve information.
- Labeled ties to existing USGS benchmark.
- Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner.
- All existing easements recorded with the County Clerk and Recorder. Include bearings and distances.
- Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot.
- Topographic conditions at two-foot contour intervals.
- Existing trees or groups of trees having trunks with diameters of four (4) inches or more.
- Rock outcroppings and other significant natural features.
- All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources.
- Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain).
- Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark.

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Grading and Drainage Plan

- Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area.
- Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage.
- Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided.
- Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown.
- Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included.
- Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown.
- Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall.

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May 5, 2025
Town of Minturn Planning Commission
Attn: Madison Harris

RE: Wilhelmsen Residence
Lot 25 Minturn North – 0111 Miles End Lane, Minturn, CO 81645
Design Review Letter of Intent

Madison:

The attached submittal includes a single-family residence within the Minturn North neighborhood. The home is subject to the Minturn North PUD Guide, Town of Minturn Code and all pertinent documents approved by the Town Council.

Lot 25 is located at 0111 Miles End Lane on a downhill sloping undisturbed vacant lot which drops in elevation approximately 5' through the building envelope. The home has been oriented facing west, parallel to the building envelope lines to maximize the site's primary view facing Meadow Mountain. The home has been designed as a walkout residence due to the gently sloping topography. The architectural style is a mix of gable forms and low pitch shed roofs to create a composition of forms rather than a single massive structure. Overall, the structure has been nestled into the topography to balance the entry elevation with the west facing patio elevation of the home.

The home exterior is a balanced mix of stone and stucco with appropriate architectural detailing which enhances the mountain vernacular. The landscaping is intentionally minimal in-keeping with the intent of the approved Minturn North PUD.

Should you have any questions or need clarifications, please don't hesitate to contact me.

Sincerely,



Taylor Hermes
512.468.3012

C. WILHELMSSEN RESIDENCE

111 MILES END LANE
 LOT 25, MINTURN NORTH
 MINTURN, COLORADO

DRB SUBMITTAL SET

APRIL 17, 2025



OWNER'S REPRESENTATIVE

RESORT CONCEPTS
 PO BOX 5127
 EDWARDS, COLORADO 81632
 (970) 926-1720

ARCHITECT

EGGERS ARCHITECTURE, INC.
 PO BOX 798
 KREMMLING, COLORADO 80459
 (970) 409-9790

STRUCTURAL ENGINEER

SUNDQUIST DESIGN GROUP
 PO BOX 249
 TARPON SPRINGS, FLORIDA 34688
 (303) 335-6034

LANDSCAPE ARCHITECT

TOMINA TOWNSEND
 PO BOX 3000
 EDWARDS, COLORADO 81632
 (303) 945-5252

CIVIL ENGINEER

BOUNDARIES UNLIMITED, INC.
 923 COOPER AVENUE, SUITE 201
 GLENWOOD SPRINGS, COLORADO 81601
 (970) 945-5252

SURVEYOR

SLAGLE SURVEY SERVICES
 PO BOX 751
 EAGLE, COLORADO 81631
 (970) 471-1499

GEOTECHNICAL ENGINEER

CTL THOMPSON, INC
 1790 AIRPORT ROAD, UNIT 2
 BRECKENRIDGE, COLORADO 80424
 (970) 453-2047

PROJECT INFORMATION:

FLOOR AREA:	FINISHED	MECH	GARAGE	TOTAL
LOWER LEVEL:	1,230 SF	95 SF		1,325 SF
MAIN LEVEL:	1,370 SF		647 SF	2,017 SF
TOTALS:	2,600 SF	95 SF	647 SF	3,342 SF

LOT AREA:	7,230.96 SF
BUILDING COVERAGE:	2,306 SF 31.89% 50% ALLOWED
IMPERVIOUS COVERAGE:	3,078 SF 42.57% 60% ALLOWED

CODE INFORMATION:

JURISDICTION:	TOWN OF MINTURN, COLORADO
CODES:	2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE + LOCAL AMENDMENTS

DRAWING SCHEDULE

C	COVER
	FINAL PLAT MINTURN NORTH P.U.D.
C.5	MINTURN NORTH PUD OVERALL GRADING PLAN
C1	SITE GRADING, DRAINAGE & EROSION CONTROL PLAN
C2	CIVIL DETAILS
L1	LANDSCAPE PLANTING PLAN
L2	LANDSCAPE SCHEDULES & DETAILS
A1.1	LOWER LEVEL PLAN
A1.2	MAIN LEVEL PLAN
A1.3	ROOF PLAN
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
BH1	BUILDING HEIGHT CALCULATIONS

EGGERS
 ARCHITECTURE, INC.
 PO BOX 798
 KREMMLING, CO 80459
 (970) 724-3411 CELL: (970) 409-9790
 don.eggert@eggersarchitecture.com

R RESORT CONCEPTS
 225 MAIN STREET, SUITE C-101
 EDWARDS, COLORADO
 (970) 926-1720

C. WILHELMSSEN
 0111 MILES END LANE
 LOT 25, MINTURN NORTH
 MINTURN, COLORADO

PROJECT NO: 2412-22 L25

ISSUED #	DATE	BY	COMMENTS
2	4-17-25		DRB SUBMITTAL SET
1	4-08-25		PROGRESS SET

C

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

MINTURN TOWN CERTIFICATE

This plat is approved by the town council of the Town of Minturn, County of Eagle, State of Colorado this 1 day of March, 2024, for filing with the Clerk and Recorder of the County of Eagle, Colorado, and for conveyance of the dedications shown herein; subject to the provisions that approval in no way obligates the Town of Minturn for financing or construction of improvements of said lands, streets or easements dedicated to the public, except as specifically agreed to by the Town Council of the Town of Minturn.

WITNESS MY HAND AND THE SEAL OF THE TOWN OF MINTURN TOWN COUNCIL OF THE TOWN OF MINTURN

BY: [Signature] ATTEST: [Signature] MAYOR TOWN OF MINTURN, COLORADO TOWN CLERK TOWN OF MINTURN, COLORADO

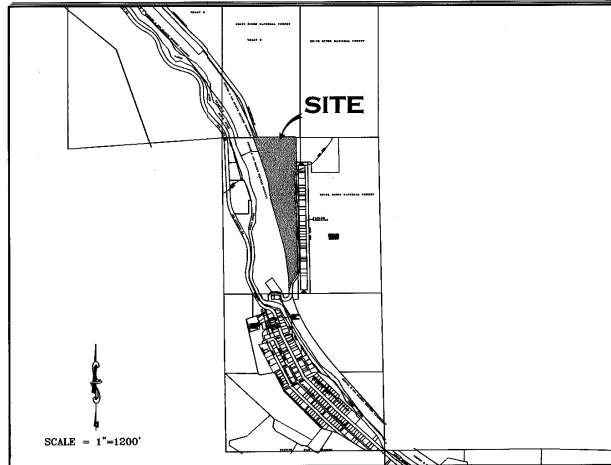
LAND USE TABLE

Table with columns: LOT, USE, AREA, ADDRESS. Lists lots 1-39 and Tract B-H with their respective uses and areas.

ADDRESSES ARE FOR INFORMATIONAL PURPOSES ONLY

FINAL PLAT MINTURN NORTH P.U.D.

Town of Minturn, County of Eagle, State of Colorado



PORTION OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6th P.M.

GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

- 1) The purpose of this Final Plat is to create various lots with building envelopes, open space areas and tracts, along with easements and Right of Ways, for the purposes described herein, all pursuant to Town of Minturn Land Use Regulations and Colorado Revised Statutes concerning the subdivision of land.
2) Basis of Bearing: N27°04'04" W between monuments marking the C-W 16th Corner and the Northwest Corner Section 26, Township 5 South, Range 81 West, of the 6th P.M., shown and described herein. This bearing is based on the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018.
3) Survey Date: December, 2022 through July 2023.
4) Legal description, easements and location of boundary lines are based on Old Republic National Title Insurance Company order number no. ABC30490645-9, dated August 03, 2023, Quitclaim Deed recorded December 02, 2014 as Reception No. 201409764 along with plats and survey monumentation referenced herein (to include the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018). In regards to items referenced in schedule B II of this title commitment referenced above: Items 1-8, 10, 21, 24, 27 and 30 were not researched by surveyor or field to contain easement restrictions or other survey or platting related issues.
Item 9 - Pipe easement does not effect this platted parcel, falls in Northeast Quarter of the Northwest Quarter of Sec 26, T5S, R81W.
Item 11 & 12- Ordinance and Dedication regarding Taylor Avenue. Depicted hereon by eastern Boundary, recorded in Book 248 at Page 178 and Book 248 at Page 452.
Item 13 - 20 foot Sewer Easement. Does not effect this platted Parcel.
Item 14 - Conveyance to State Department of Highways, Does not Effect these platted lands.
Item 15 - Does not effect these Platted lands but references vacation of portions of Taylor Addition to the Town of Minturn.
Item 16 - effects subject parcel as it is an Annexation of property to Town of Minturn recorded in Book 333 at Page 349.
Item 17 & 18 - Do not effect subject Parcel.
Item 19 - Conveyance described in Book 687 at Page 268 does not contain any easements not already defined hereon.
Item 20 - Does not effect these Platted lands. (6.k.a. subject parcel)
Item 21 - Public Service Company of Colorado Easement, Reception No. 897924, falls off subject Parcel.
Item 22 - Boundary Agreement recorded as Reception No. 200824177, called out as adjoiner hereon.
Item 25 & 26 - Parcel is subject to Mapping of Piping and Ditches in area of this subject parcel defined in document recorded as Reception No. 201703240, and 201703454 any rights or restrictions and exact location thereof not clear to surveyor from face of documents.
Item 29 - Parcel is subject to 1904-40 foot wide easement for right of way from Denver Rio Grand Railroad to Eagle County, the location of which is not determinable from face of document. This Agreement has to be have been Terminated prior to the Recording of this Plat.
5) These platted lands are subject to:
- The Minturn North P.U.D. Guide recorded as Reception no. 202402232
- The Declarations of Covenants, Conditions, Restrictions and Easements for Minturn North recorded as Reception No. 202502240
- The non-exclusive Heritage Utility Easement as shown herein on page five (5) - on, over, under, above, across and through those areas designated herein as "Heritage Utility Easement" as defined in document recorded in the Eagle County Clerk and Recorder's Office as Reception No. 202316489.

PERTAINING TO HEREON CREATED EASEMENTS:

- 6) the owner, hereby reserves for themselves their successors and / or assigns the following non-exclusive easements created herein:
a) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Utility and Drainage Easement" AND those areas of each lot outside of Building Envelopes, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress.
b) a non-exclusive Utility Easement as shown herein - on, over, under, above, across and through those areas designated herein as "Utility Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress.
c) non-exclusive Access, Utility, and Drainage Easement - on, over, under, above, across and through those areas designated herein as "Access, Utility and Drainage Easement", and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract D1 and Tract G, for the purpose of i) Ingress and Egress, reasonable Pedestrian use including ingress and egress of persons including vehicle, foot, bicycle or small wheel use ii) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress, and iii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

GENERAL NOTES CONTINUED:

- 6) Continued...
d) Tract D, Tract D1, and Tract G, shall be open to Public vehicular and non-vehicular access.
e) Any Easement that permits public recreation on Private Property shall benefit from the provision of C.R.S. 33-41-101 et seq.

FOLLOWING CREATED EASEMENTS DEDICATED TO TOWN OF MINTURN:

- 7) the owner, hereby dedicates to the Town of Minturn the following non-exclusive easements:
a) non-exclusive Utility, Drainage, Parking, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Parking, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) reasonable local snow storage and v) Landscaping use, and maintenance.
b) non-exclusive Utility, Drainage, Snow Storage, Landscape and Trail Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage, Landscape and Trail Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) reasonable local snow storage, and v) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
c) non-exclusive Utility, Drainage, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated herein as "Utility, Drainage, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, iii) reasonable local snow storage, iv) reasonable local snow storage, and v) Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
d) non-exclusive Trail Easement on, over, under, above, across and through those areas designated herein as "Trail Easement" for the purpose of Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
e) a non-exclusive trail easement on, over, across, and through those strips of land depicted and designated herein as "Trail Easement" on sheet 5 of 5 for Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with path construction, or use. Maintenance of any path improvements within the "Trail Easement" shall be at the sole cost and expense of the Minturn North P.O.A.
f) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated herein as "Public Utility and Drainage Easement", as shown in Tract C, on sheet 2 of 5, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

SURVEYOR'S CERTIFICATE

I, Matthew S. Slagle, do hereby certify that I am a Professional Land Surveyor licensed to practice land surveying under the laws of the State of Colorado. That this Subdivision Plat is a true, correct and complete plat of MINTURN NORTH P.U.D., as laid out, platted, dedicated and shown hereon, that such plat was made from an accurate survey of said property and in or under my supervision and accurately shows the location and dimensions of the lots, easements and rights-of-way of said plat as the same are monumented upon the ground in compliance with applicable regulation governing the subdivision of land, that such plat is based upon the professional land surveyor's knowledge, information and belief, that it has been prepared in accordance with applicable standards of practice, and that such plat is not a guaranty or warranty, either expressed or implied.



Matthew S. Slagle PLS 34998 Professional Land Surveyor State of Colorado

- Revised 02-07-24 Edited C.O.D. MSS
Revised 12-02-23 Edited Note 6a MSS
Revised 11-14-23 minor text MSS
Revised 11-07-23 Certain Dimensions MSS
Revised 11-06-23 Tract C Easements MSS
Revised 11-03-23 Town Comments MSS
Revised 10-11-23 Town Comments MSS
Revised 10-06-23 Town Comments MSS
Revised 09-26-23 Added Note regarding Tract C MSS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents that Minturn Crossing LLC (being sole owner in fee simple, mortgagee or holder of, of all that real property situated in the Town of Minturn, County of Eagle, State of Colorado described as follows: Parcel 1, UPRR Subdivision according to the Final Plat thereof recorded on 13th day of December, 2023 as Reception No. 202316483 in the Office of the Eagle County Clerk and Recorder, Eagle County, Colorado. Containing 13.485 acres more or less; and has caused the same to be laid out, platted and subdivided, and designated as MINTURN NORTH P.U.D. subdivision in the Town of Minturn, County of Eagle, State of Colorado, and does hereby accept responsibility for the completion of the improvements required by this plat, and does hereby accept responsibility for the completion of the improvements required by this plat and does hereby dedicate and set aside the following tracts, parcels and easements as follows:
- To the Town of Minturn Tract H (Fourth Street) and the easements described and depicted hereon in General Note 7, together with associated public improvements.
- To Utility Providers such utility easements as depicted herein in which utility infrastructure is located.

OWNER: MINTURN CROSSING LLC ADDRESS: 225 Main Street, Suite C-101 Edwards, Colorado 81632

BY: RICK HERMES TITLE: MANAGER

STATE OF COLORADO) COUNTY OF EAGLE)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF March, A.D. 2024 BY RICK HERMES AS MANAGER OF MINTURN CROSSING LLC.

MY COMMISSION EXPIRES 6 Aug 27

WITNESS MY HAND AND OFFICIAL SEAL



SUBORDINATION BY MORTGAGEE

Philip Hadley, being the holder of a promissory note secured by deed of trust recorded the 13th day of December 2023, at Reception No. 202316490, in the Office of the Clerk and Recorder of Eagle County, Colorado, hereby consents to the Subdivision of the lands set forth in this Final Plat of Minturn North P.U.D., and subordinates the lien represented by the aforesaid deed of trust to the Dedications and restrictions as shown on this final plat and relative covenants, conditions and restrictions.

MORTGAGEE Philip Hadley

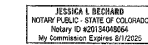
BY: [Signature] as [Signature]

STATE OF Colorado) COUNTY OF Eagle)

The foregoing Subordination by Mortgagee was acknowledged before me this 20 day of February, 2024, by Philip Hadley as Individual

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: [Signature] AUG. 01, 2025



CERTIFICATE OF TAXES PAID

I, the undersigned, do hereby certify that the entire amount of taxes and assessments due and payable as of January 1, 2023, upon all parcels of real estate described on this Plat are paid in full.

DATED THIS 1st OF March, A.D., 2024

ROSE DI [Signature] BILLIE M. DEPUTY TREASURER OF EAGLE COUNTY

TITLE CERTIFICATE

LAND TITLE [Signature] does hereby certify that it has examined the title to all lands shown upon this plat and that title to such is vested in MINTURN CROSSING LLC free and clear of all liens, taxes, and encumbrances, except those of trust recorded 1/13/23, 202316490

DATED THIS 20th DAY OF February, A.D., 2024

AGENT: [Signature] CLERK AND RECORDER'S CERTIFICATE # 5398

This Plat was filed for record in the Office of the Clerk and Recorder at 12:59 o'clock P.M. on this 20th day of March, A.D. 2024

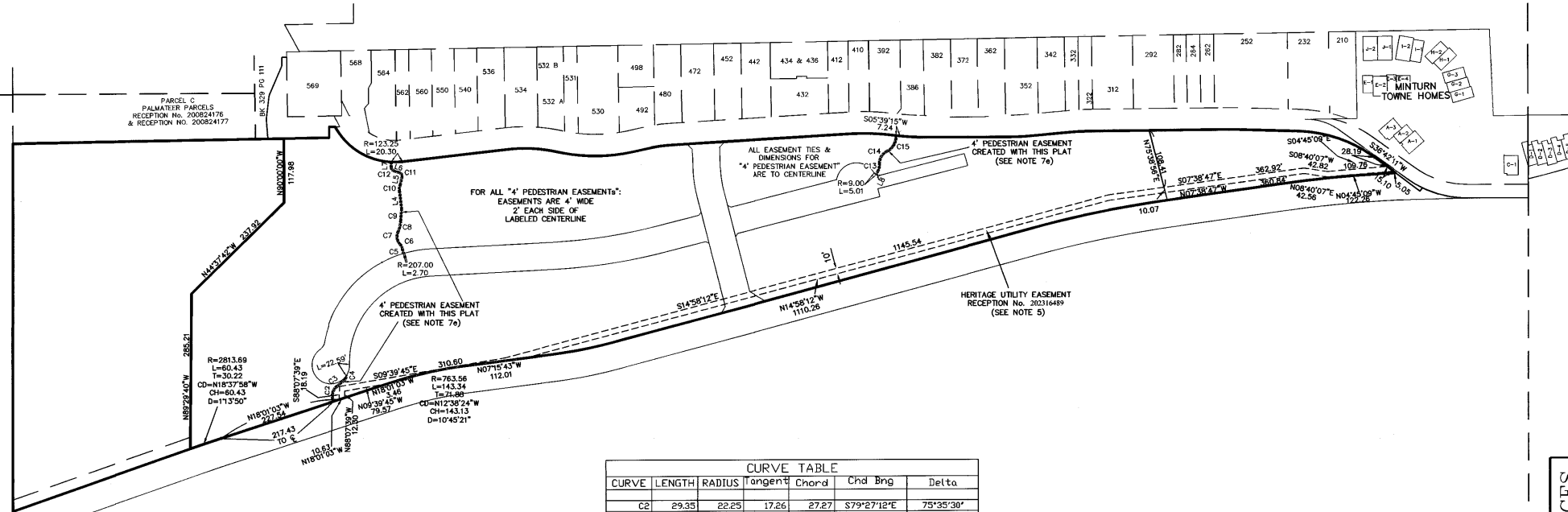
[Signature] BY: [Signature] CLERK AND RECORDER DEPUTY

SLAGLE SURVEY SERVICES 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631 970.471.1499 Office matthew@slaglesurvey.com www.SlagleSurvey.com FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado

Eagle County, CO Regina O'Brien Pgs: 5 REC: \$55.00 DOC: \$0.00 202402234 03/04/2024 12:59:18 PM

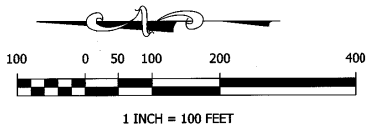
FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado
 SHEET 5 OF 5

ADDITIONAL EASEMENT DETAIL SHEET



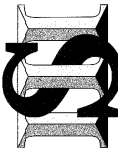
LINE TABLE		
LINE	LENGTH	BEARING
L4	32.13	N63°15'49"E
L5	14.91	S77°04'30"E
L6	11.48	N12°26'21"E
L7	9.83	S89°36'46"E
L8	7.28	N62°43'18"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C2	29.35	22.25	17.26	27.27	S79°27'12"E	75°35'30"
C3	18.66	276.62	9.33	18.65	S39°43'32"E	3°51'51"
C4	9.01	8.52	4.97	8.59	S66°04'17"E	60°33'21"
C5	7.90	333.24	3.95	7.90	S79°46'25"W	12°13'31"
C6	11.08	18.95	5.70	10.93	N63°41'55"E	33°30'33"
C7	24.01	20.01	13.69	22.60	S81°19'10"W	68°45'04"
C8	20.65	49.15	10.48	20.50	S76°20'24"E	24°04'13"
C9	22.78	236.37	11.40	22.77	S85°36'54"E	5°31'15"
C10	12.77	20.27	6.60	12.56	S83°06'39"E	36°05'40"
C11	9.29	7.31	5.39	8.68	N57°19'53"E	72°46'53"
C12	8.09	6.45	4.68	7.57	N54°28'07"E	71°50'14"
C13	15.45	30.72	7.89	15.28	S77°07'28"E	28°48'21"
C14	27.14	23.79	15.26	25.69	S58°50'20"E	65°22'36"
C15	35.79	30.20	20.33	33.73	S60°06'18"E	67°54'31"



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado

SLAGLE SURVEY SERVICES 800 Castle Drive - P.O. Box 157 Eagle, Colorado 81631 Office: matthew@slaglesurvey.com www.SlagleSurvey.com	FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado	
	DRAWN BY: MSS DATE: 08-13-2023	SHEET: 5 OF 5

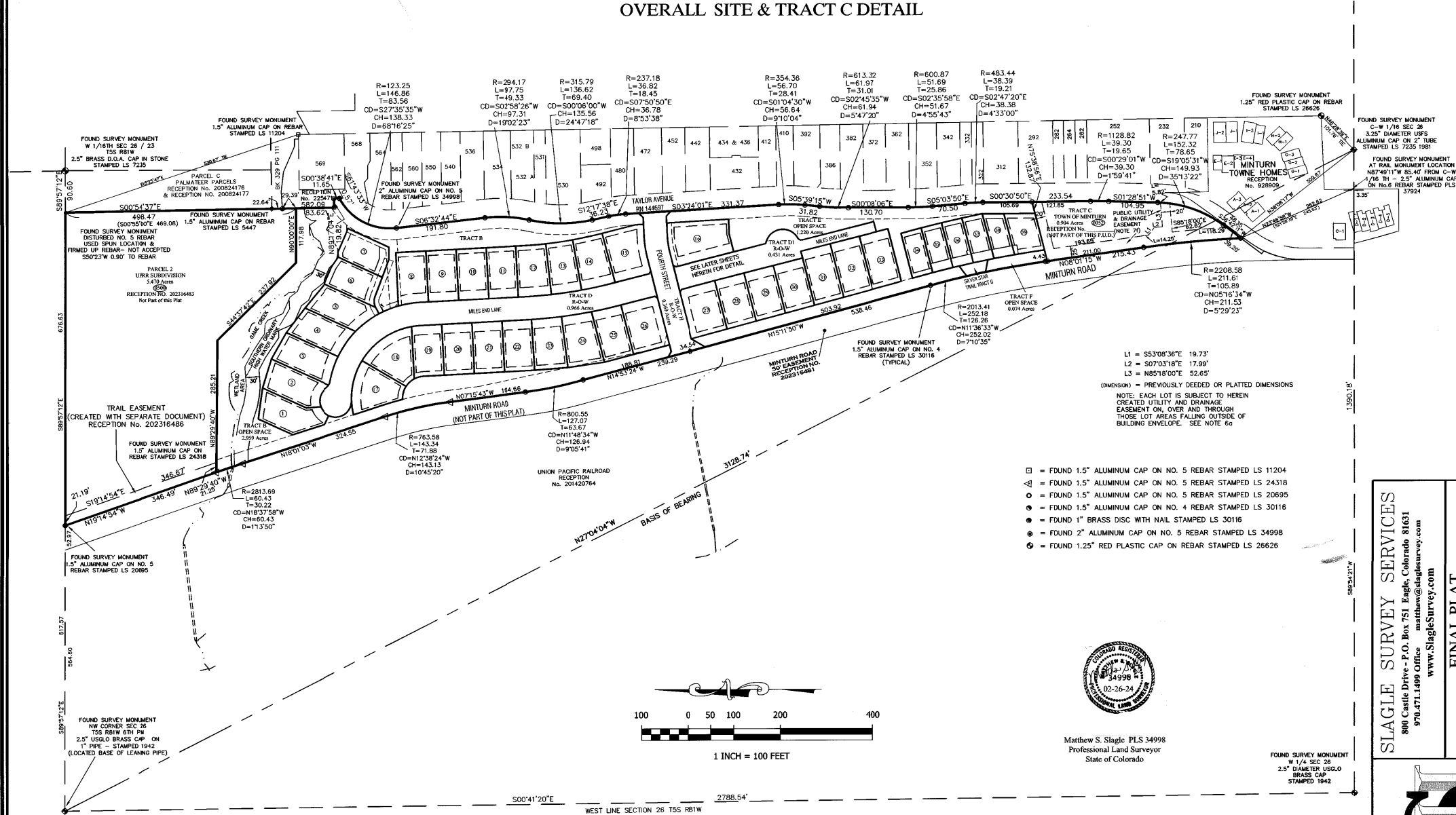


NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

202402234

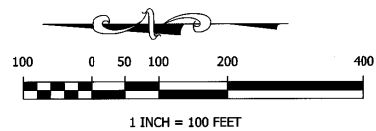
FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado
 SHEET 2 OF 5

OVERALL SITE & TRACT C DETAIL



L1 = S53°08'36\"/>
 L2 = S07°03'18\"/>
 L3 = N85°18'00\"/>
 (DIMENSION) = PREVIOUSLY DEEDED OR PLATTED DIMENSIONS
 NOTE: EACH LOT IS SUBJECT TO HEREIN
 CREATED UTILITY AND DRAINAGE
 EASEMENT ON, OVER AND THROUGH
 THOSE LOT AREAS FALLING OUTSIDE OF
 BUILDING ENVELOPE. SEE NOTE 6g

- = FOUND 1.5\"/>
- △ = FOUND 1.5\"/>
- = FOUND 1.5\"/>
- = FOUND 1.5\"/>
- ⊙ = FOUND 1\"/>
- ⊙ = FOUND 2\"/>
- ⊙ = FOUND 1.25\"/>

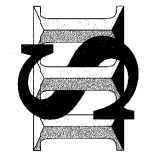


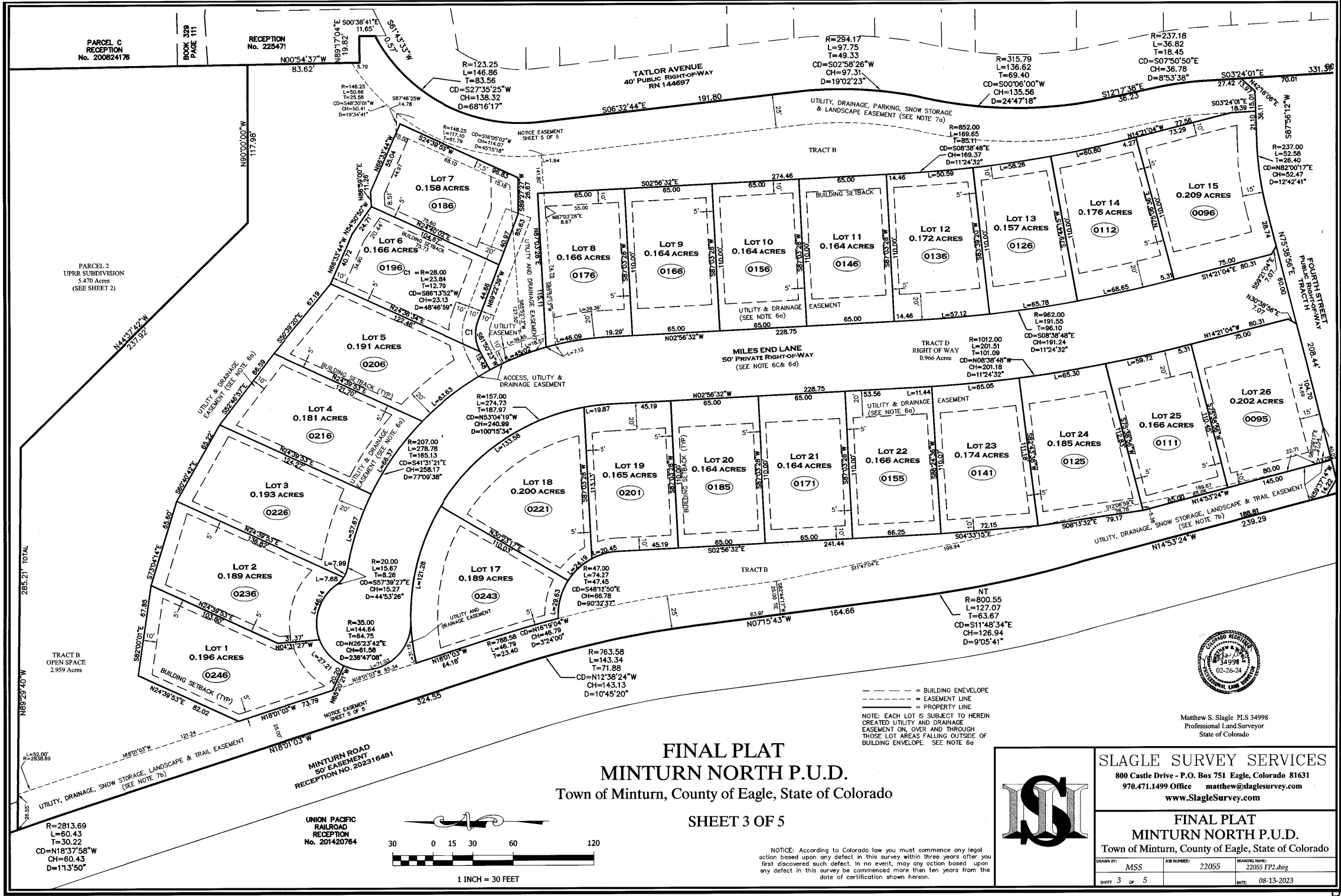
Matthew S. Slagie PLS 34998
 Professional Land Surveyor
 State of Colorado

SLAGIE SURVEY SERVICES 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631 970.471.1499 Office mathew@slagiesurvey.com www.SlagieSurvey.com	FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado		FORM NUMBER: 22085 DATE: 06-15-2023
	FORM NO: MISS SHEET 2 OF 5	FOUND SURVEY MONUMENT W 1/4 SEC 26 2.5\"/>	

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

202402234





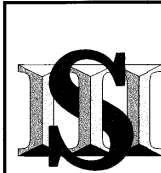
FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado



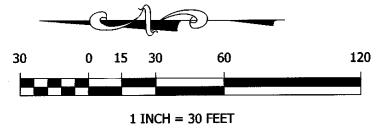
SLAGLE SURVEY SERVICES
 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
 970.471.1499 Office matthew@slaglesurvey.com
 www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 3 of 5	DATE: 08-13-2023	

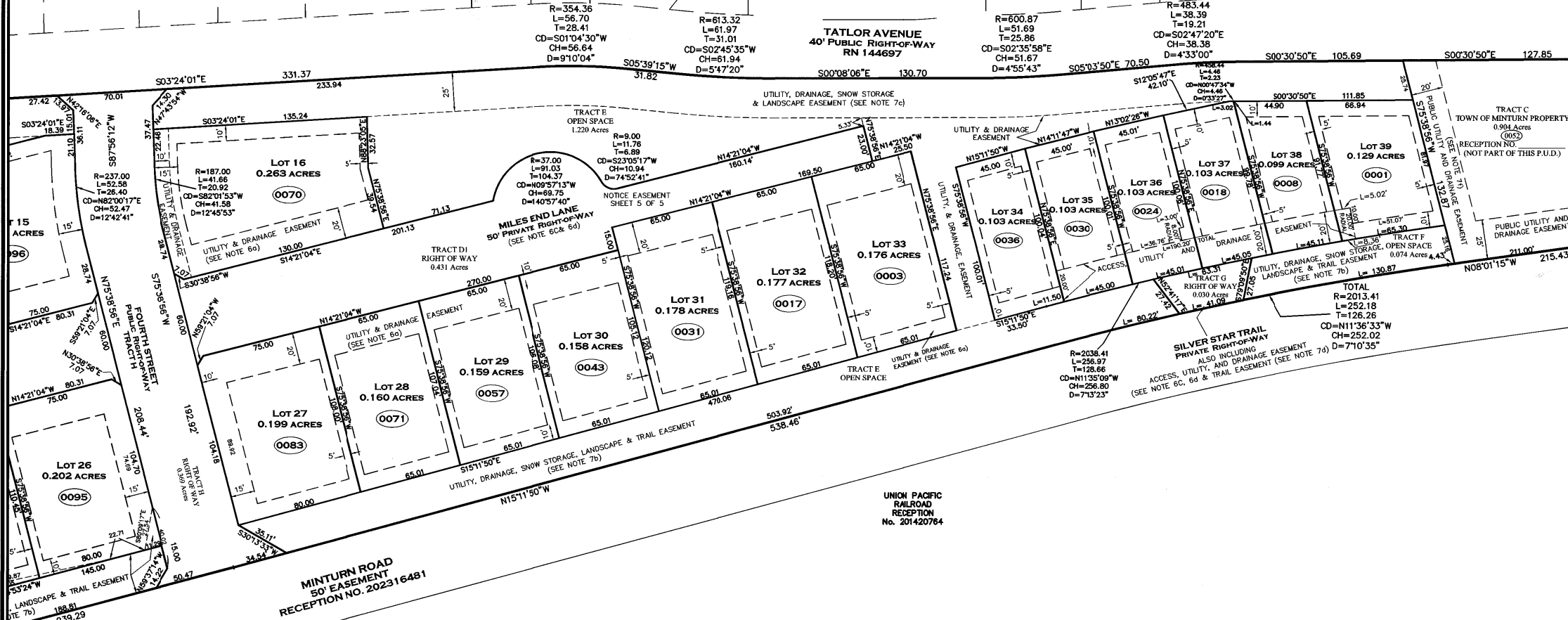
R=2813.69
 L=60.43
 T=30.22
 CD=N18°37'58"W
 CH=60.43
 D=11°35'0"

UNION PACIFIC
 RAILROAD
 RECEPTION
 No. 201420764



202402234

FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado
SHEET 4 OF 5

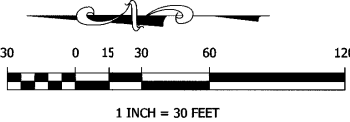


--- = BUILDING ENVELOPE
 - - - = EASEMENT LINE
 ——— = PROPERTY LINE

NOTE: EACH LOT IS SUBJECT TO HEREIN CREATED UTILITY AND DRAINAGE EASEMENT ON, OVER AND THROUGH THOSE LOT AREAS FALLING OUTSIDE OF BUILDING ENVELOPE. SEE NOTE 6a



Matthew S. Slagle P.L.S. 34998
 Professional Land Surveyor
 State of Colorado



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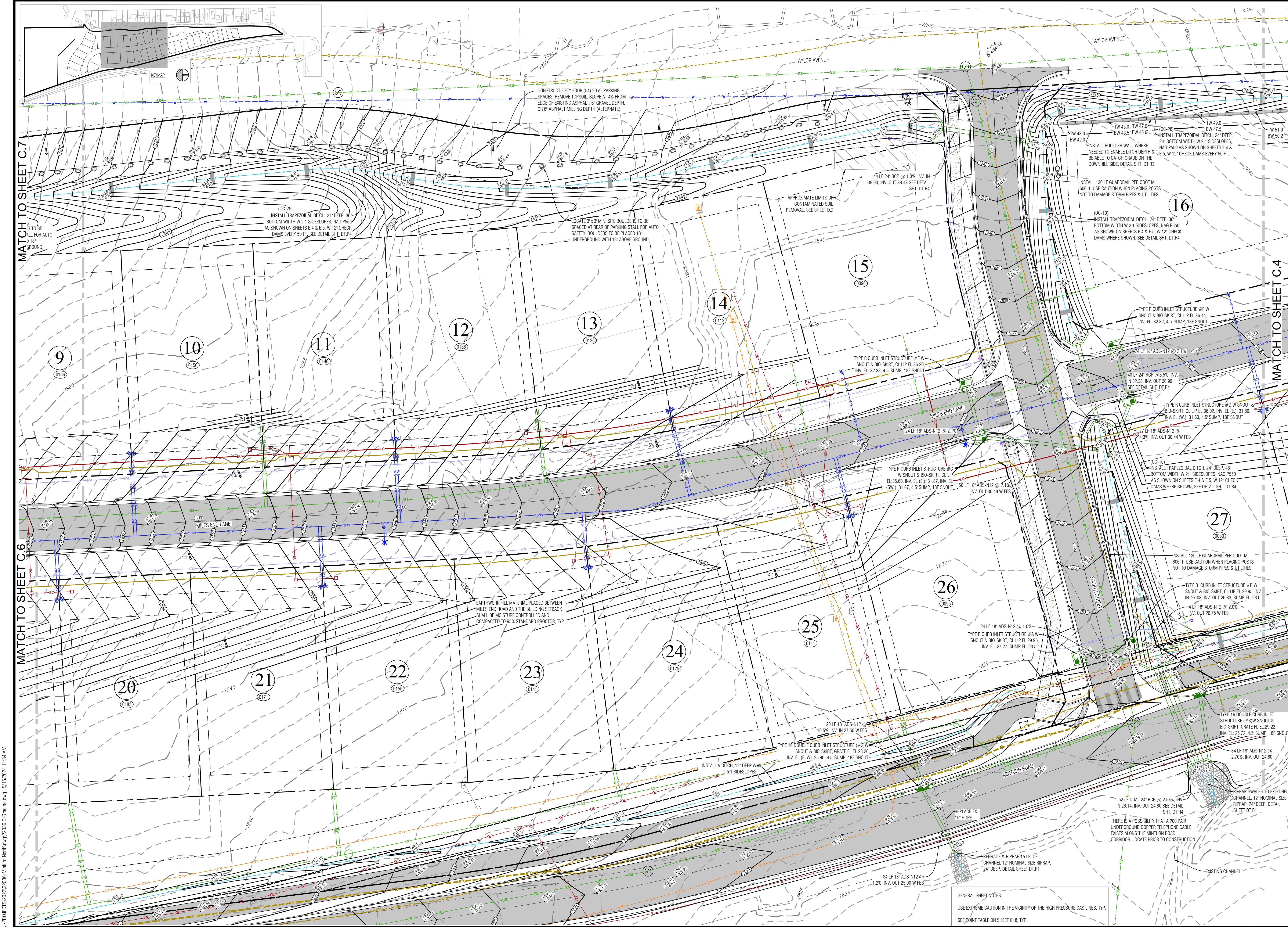


SLAGLE SURVEY SERVICES
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 970.471.1499 Office matthew@slaglesurvey.com
 www.SlagleSurvey.com

FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 4 OF 5	DATE: 08-13-2023	

202402234



MATCH TO SHEET C.7

MATCH TO SHEET C.6

MATCH TO SHEET C.4

N:\PROJECTS\2022\2026-Minturn North\mg\2206-C-Grading.dwg 5/15/2024 11:34 AM

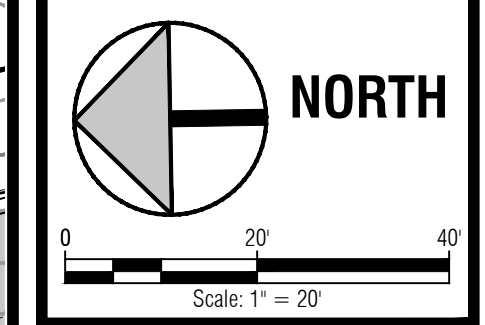
Boundaries Unlimited Inc.
Civil Engineering
Surveying
& Beyond

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If "Yes": SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**



Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720



TOWN OF MINTURN, COLORADO

Minturn North P.U.D.

Overall Grading and Drainage Plan

Construction Plan Set 5/1/24

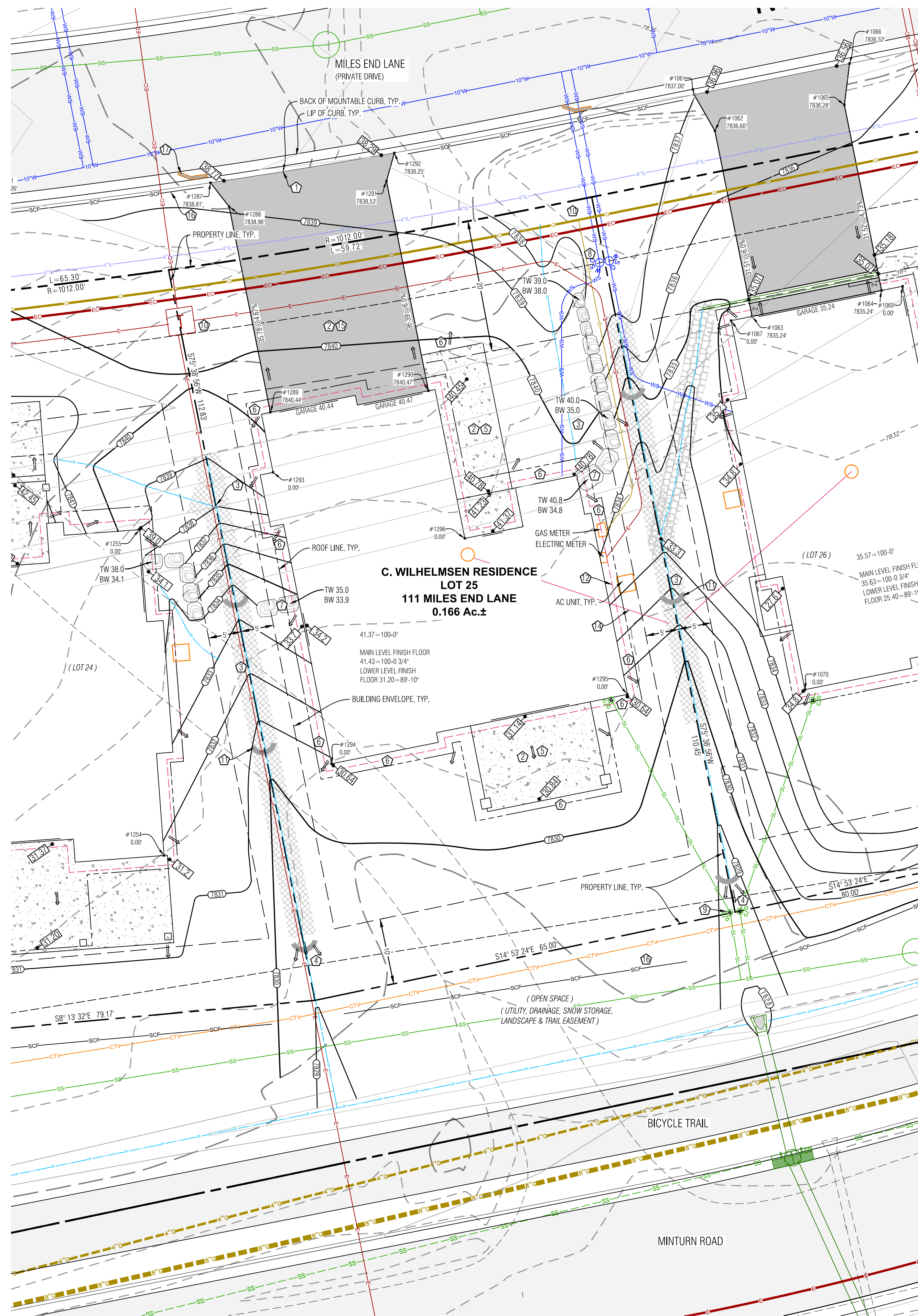
NO.	DATE	REVISION	SHEET
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2			46
3			47
4			48
5			49
6			50
7			51
8			52
9			53
10			54
11			55
12			56
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48			92
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50			94
51			95
52			96
53			97
54			98
55			99
56			100

PROJECT NO. 2206
Designer: **BU**
Date: 12/26/22

Sheet **C.5**

File Name: 2206 c-grading.dwg

GENERAL SHEET NOTES:
USE EXTREME CAUTION IN THE VICINITY OF THE HIGH PRESSURE GAS LINES, TYP.
SEE POINT TABLE ON SHEET C18, TYP.



LEGEND

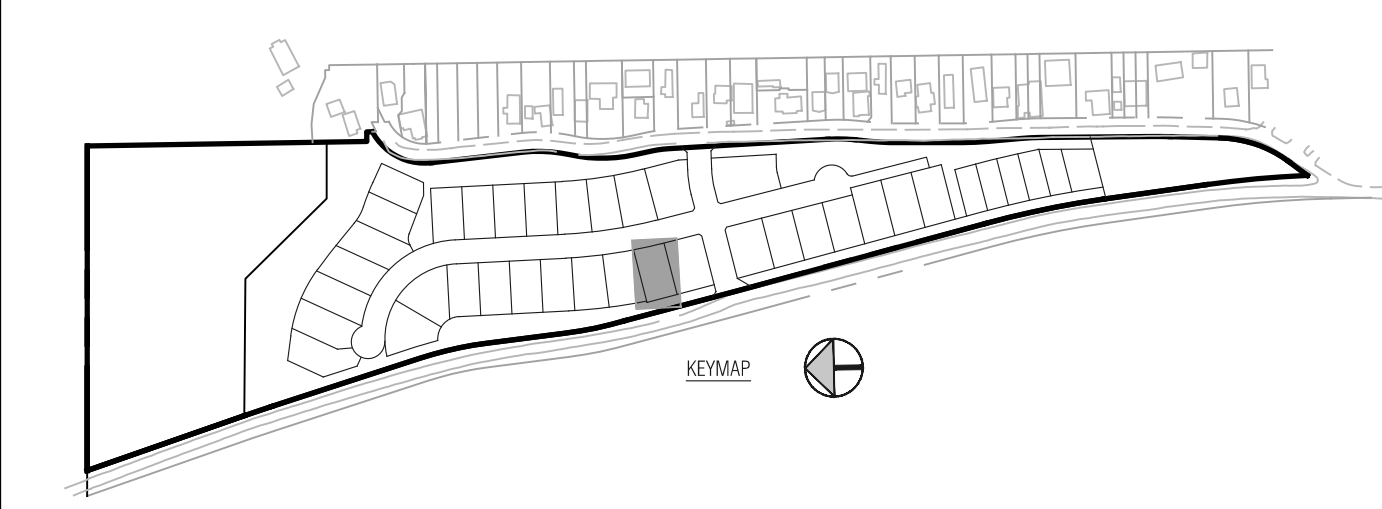
- TW TOP OF WALL
- BW BOTTOM OF WALL
- GB GRADE BREAK
- EX EXISTING
- LP LOW POINT
- HP HIGH POINT
- PROPOSED SPOT ELEVATION
- DRAINAGE SWALE
- FLOW ARROW
- SEDIMENT CONTROL FENCE
- PROPOSED MAJOR/MINOR CONTOUR
- EXISTING MAJOR/MINOR CONTOUR
- EROSION LOGS
- ASPHALT DRIVEWAY & AUTOCOURT
- NORTH AMERICAN GREEN SC-2508N EROSION CONTROL FABRIC, OR RRPRP ALTERNATIVE
- FLAGNOTE
- EX CURB STOP
- POSSIBLE ELECTRIC SERVICE
- POSSIBLE GAS SERVICE
- POSSIBLE WATER SERVICE
- POSSIBLE SEWER SERVICE
- FOUNDATION DRAIN
- DOWNSPOUT & STORM DRAIN WITH SEE
- BOULDER WALL

Point Table

Point #	Desc.	Elev.	North	East
1287	Driveway	7838.81'	3856.11	5472.95
1288	Driveway	7838.96'	3853.11	5469.49
1289	Driveway	7840.44'	3845.23	5438.70
1290	Driveway	7840.47'	3821.49	5443.23
1291	Driveway	7838.53'	3829.51	5474.61
1292	Driveway	7838.25'	3828.56	5478.93
1293	House Cor.	0.00	3844.33	5429.64
1294	House Cor.	0.00	3833.18	5386.05
1295	House Cor.	0.00	3788.98	5398.90
1296	House Cor.	0.00	3814.82	5421.19

- NOTES:**
- 1) BASIS OF ELEVATION: NAVD88 BASED ON THE ORIGINAL TOPOGRAPHIC MAP OF MINTURN NORTH PREPARED BY GORE RANGE SURVEYING, LLC., JOB NO. 19-1203, DATED 4/1/21. NO BENCHMARK WAS NOTED ON THE BASE SURVEY.
 - 2) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE BASED ON THE FINAL PLAN OF MINTURN NORTH PUD, AND SURVEY CONTROL MONUMENTS FOUND AT THE TIME OF THE SURVEY AND SHOWN ON THE SURVEY REFERENCED ABOVE.
 - 3) SEE ADDITIONAL SITE NOTES & DETAILS ON SHEET C2.
 - 4) EXISTING CONTOUR INTERVAL IS 1 FT., PROPOSED CONTOUR INTERVAL IS 1 FT.
 - 5) LOT AREA: 7,234 SF ±
DISTURBANCE AREA: 7,234 SF ±
 - 6) THIS (CIVIL) PLAN SET IS INTENDED TO BE PLOTTED IN COLOR. FAILURE TO DO SO MAY RESULT IN MISSING DATA & INFORMATION CRITICAL TO THE PROJECT.
 - 7) CONSTRUCTION ACCESS TO BE LIMITED TO THE AREA WITHIN THE VEHICLE TRACKING PAD. SILT SOCKS TO BE INSTALLED EVERY 30 FEET WITHIN THE CURB LINE ALONG THE LOT FRONTAGE. DIRT TRACKED ONTO PUBLIC ROW TO BE CLEANED AFTER ANY MAJOR STORM EVENT OR WITHIN THREE WORKING DAYS.

- FLAGNOTES:**
- 1) MATCH TO BACK OF EXISTING CURB.
 - 2) PROPOSED ASPHALT DRIVEWAY, AUTO-COURT AND CONCRETE WALKWAYS, STRUCTURAL FILL UNDER THE BUILDING TO FOLLOW THE DIRECTION OF THE GEOTECH REPORT, ALL EARTHWORK CONSTRUCTION TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.
 - 3) PROVIDE DRAINAGE SWALE AS SHOWN, WITH NORTH AMERICAN GREEN SC250 EROSION FABRIC OR RRPRP WHERE SLOPE EXCEEDS 5%. SEE DETAIL.
 - 4) WHERE PROPOSED SWALE DAYLIGHTS WITH NATURAL GROUND, FAN OUT DRAINAGE SWALE TO EVENLY DISSIPATE DRAINAGE, TYP.
 - 5) SLOPE PATIOS, DECKS AND WALKS AT 2% MIN. AWAY FROM THE STRUCTURE.
 - 6) GRADE AROUND THE PERIMETER OF BUILDING AS NECESSARY 10% FOR 5-FEET MIN. (10 FT. WHERE POSSIBLE) IN UNPAVED AREAS TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION. IT WILL BE IMPORTANT TO CONSTRUCT AND DIRECT SURFACE DRAINAGE AWAY FROM BUILDING, WALKS AND WALLS TO EITHER THE AUTOCOURT, THE OUTLET SWALE, OR DOWNWARD SLOPING NATURAL GRADE. VERIFY DRAINAGE AND SWALE INTEGRITY ON A REGULAR BASIS.
 - 7) INSTALL BOULDER WALL FOR LANDSCAPE AREAS PER THE DETAIL ON SHEET C2. WALL DRAIN LINES NOT SHOWN.
 - 8) LOCATE EXISTING CURB STOP, CONFIRM LOCATION AND CONNECTION WITH THE WATER & SANITATION DISTRICT, CONNECT AND EXTEND NEW WATER SERVICE TO MECHANICAL ROOM, MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS. INSULATE THE WATER SERVICE IF COVER IS LESS THAN 7 FEET NEAR THE RETAINING WALL AND IN THE VICINITY OF THE DRAINAGE INLET.
 - 9) APPROXIMATE LOCATION OF SEWER SERVICE STUB, CONFIRM INVERT PRIOR TO CONSTRUCTION FOR ABILITY TO SERVICE HOUSE BY GRAVITY, OR WHETHER A PUMP MAY BE REQUIRED, CONNECT AND EXTEND NEW SEWER SERVICE TO MECHANICAL ROOM, MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS, INSTALL CLEANOUTS AT HOUSE EXTERIOR AND ALL BEND LOCATIONS.
 - 10) LOCATE, CONNECT TO, AND EXTEND GAS, ELECTRIC, AND COMMUNICATION SERVICES TO METER CABINET AND GAS METER LOCATION, MAINTAIN COVER & CLEARANCES BETWEEN/COVER NEW SERVICES PER UTILITY REGULATIONS.
 - 11) EROSION LOGS PER DETAIL ON SHEET C2.
 - 12) FOUNDATION DRAIN, TYP., INSTALL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, DRAIN @ 0.5% MIN. TO DAYLIGHT, SEE DETAIL ON SHT. C2.
 - 13) EXTEND THE FOUNDATION DRAIN FROM SUMP PUMP IN HOUSE TO DAYLIGHT WITH SOLID PIPE, COVER WITH A RODENT SCREEN AT END.
 - 14) INSTALL VEHICLE TRACKING PAD (DETAIL SHEET C2) AT LOCATION OF DRIVEWAY, TRACKING PAD TO BE REMOVED PRIOR TO FINAL DRIVEWAY SUBGRADE PREPARATION AND PAVING.
 - 15) SILT FENCE PER DETAIL ON SHEET C2.
 - 16) INSTALL SILT SOCKS WITHIN CURB LINE, EVERY 30 FT. ±.



Civil Engineering
Surveying & Beyond
Boundaries Unlimited Inc.

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If "Yes", SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

NOT FOR CONSTRUCTION

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH

Scale: 1" = 10'

811

Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

Lot 25, Minturn North P.U.D.

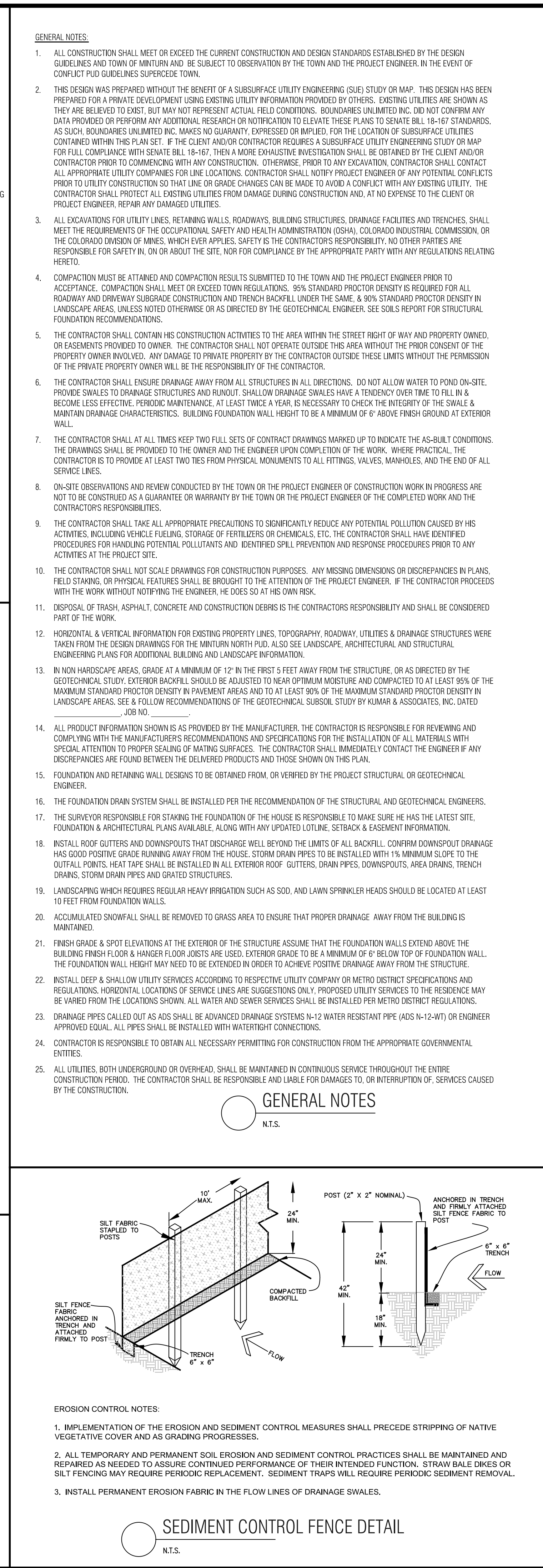
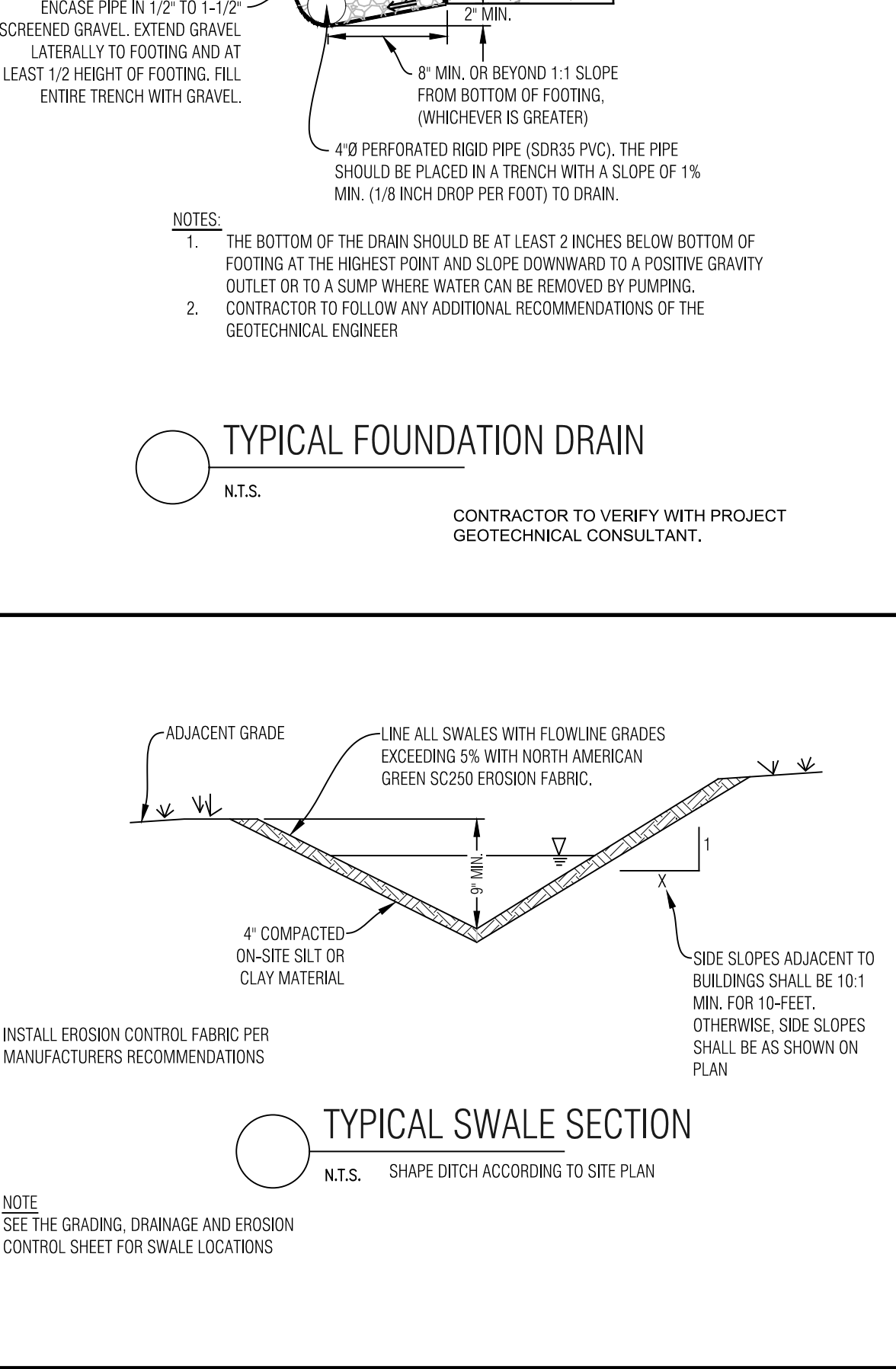
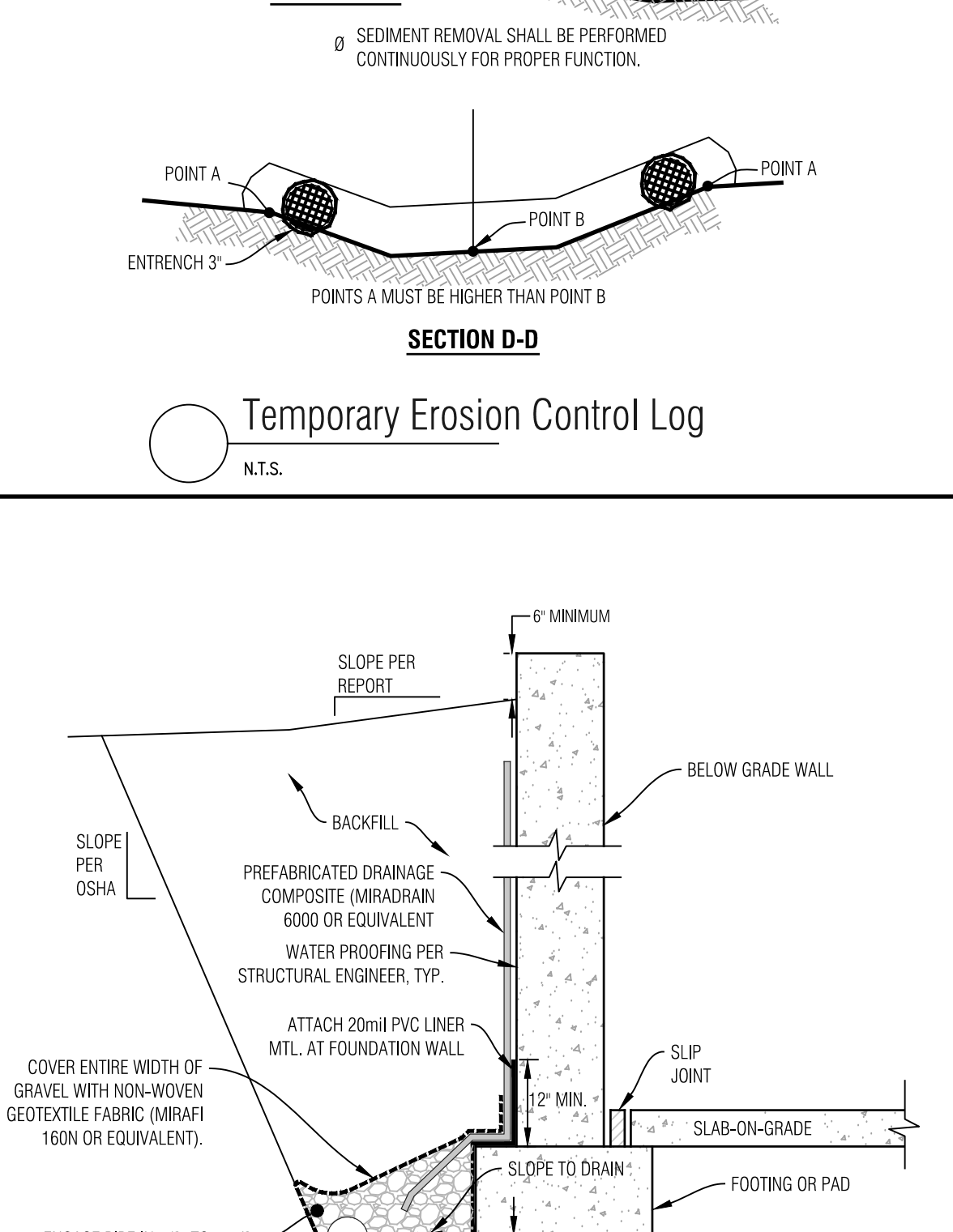
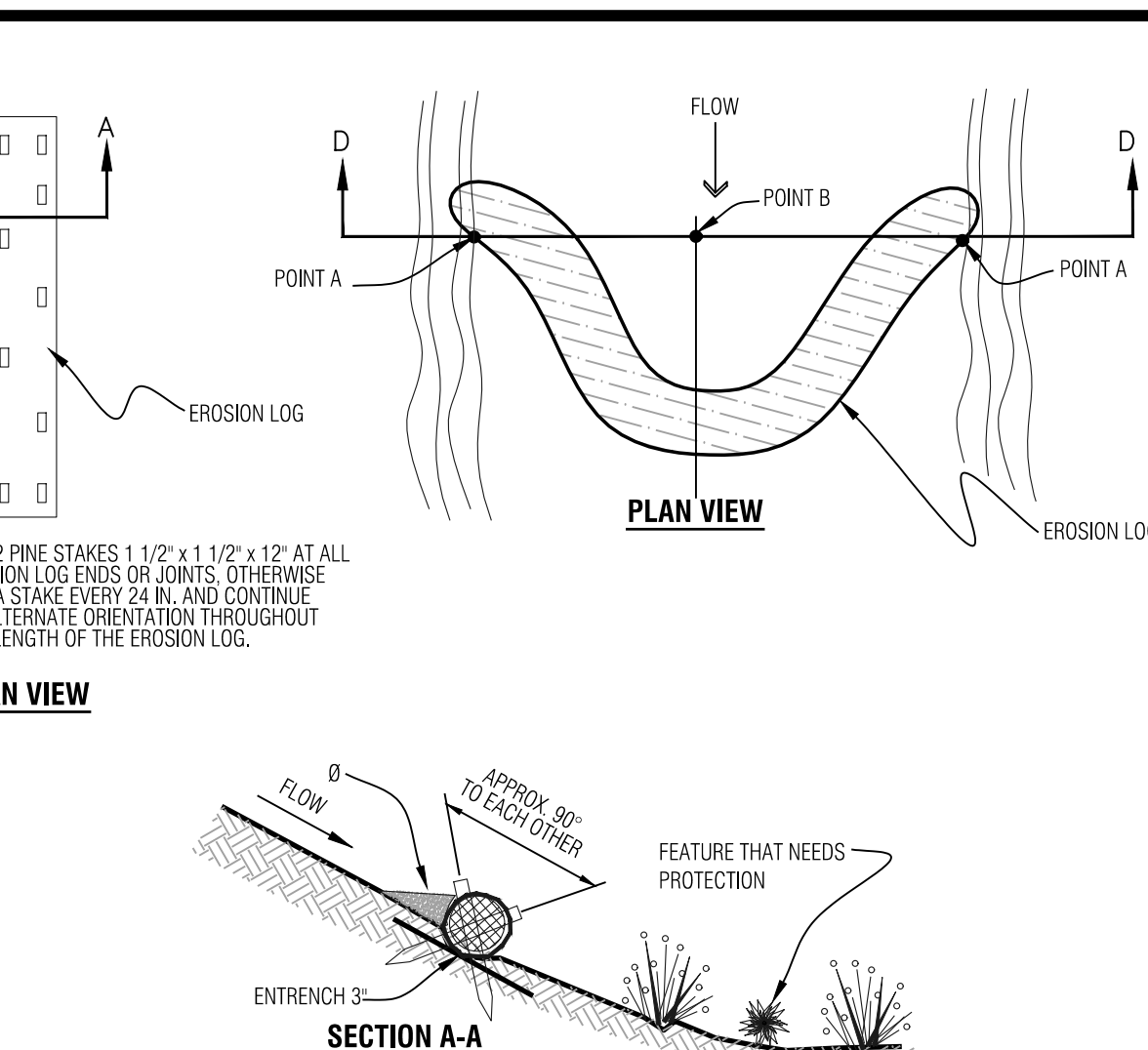
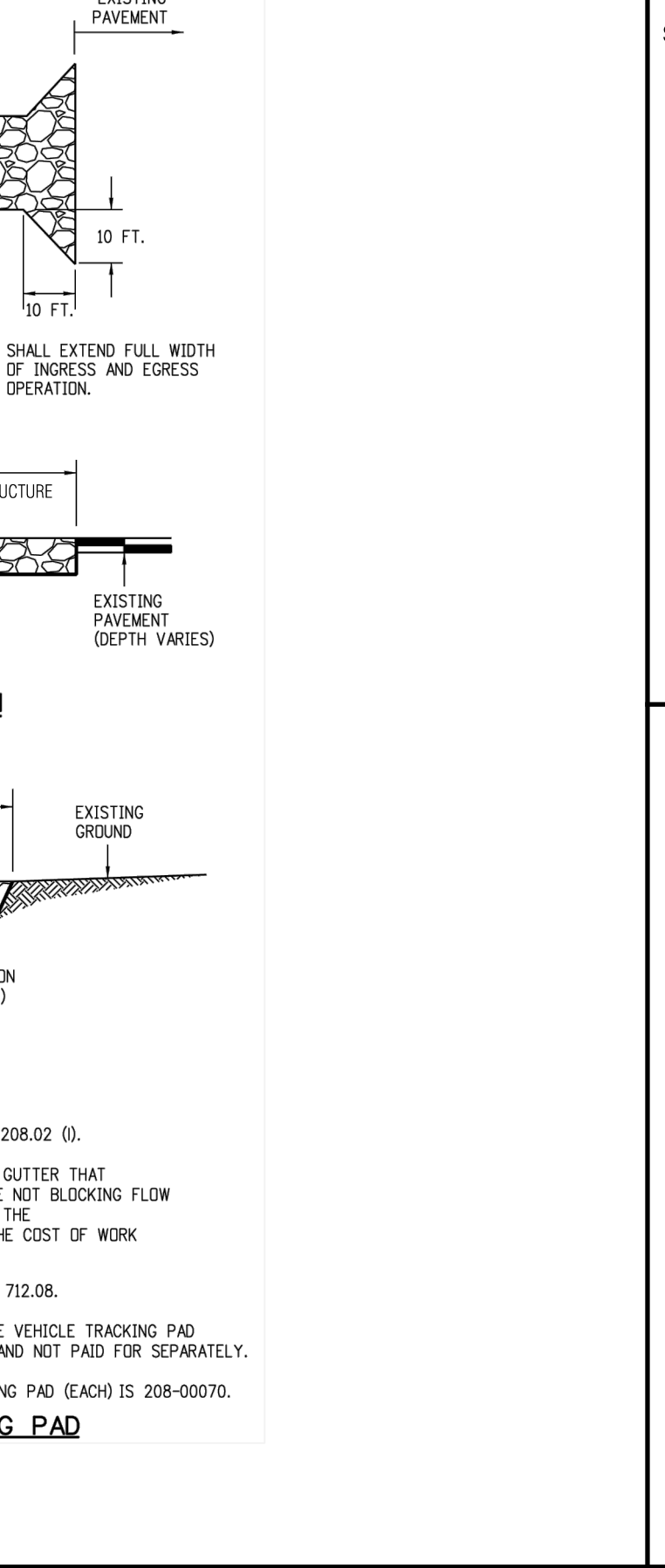
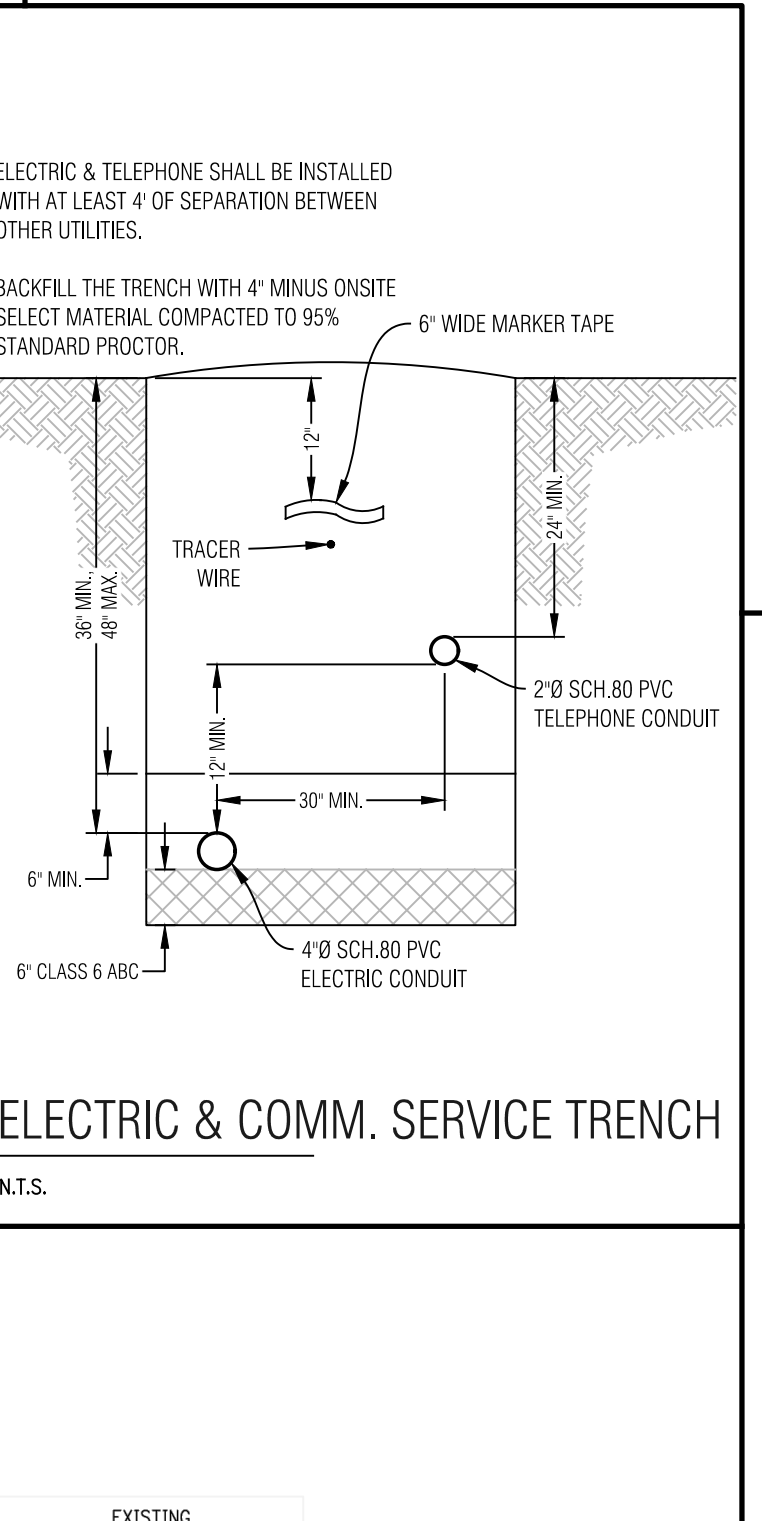
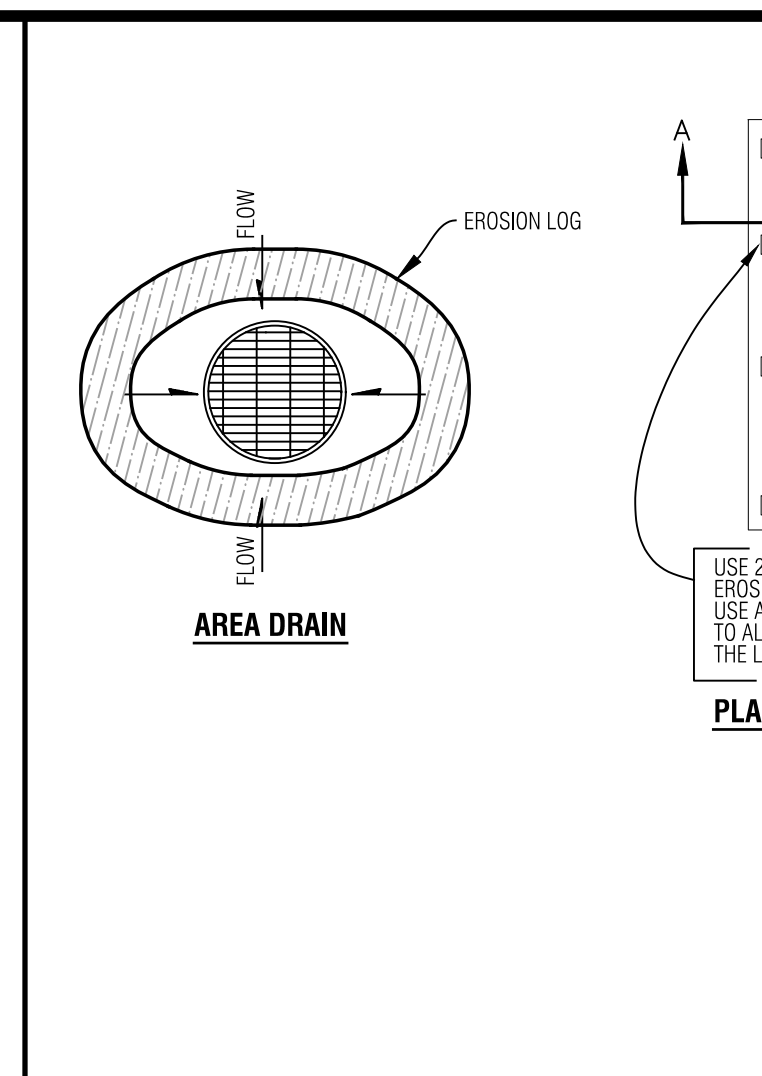
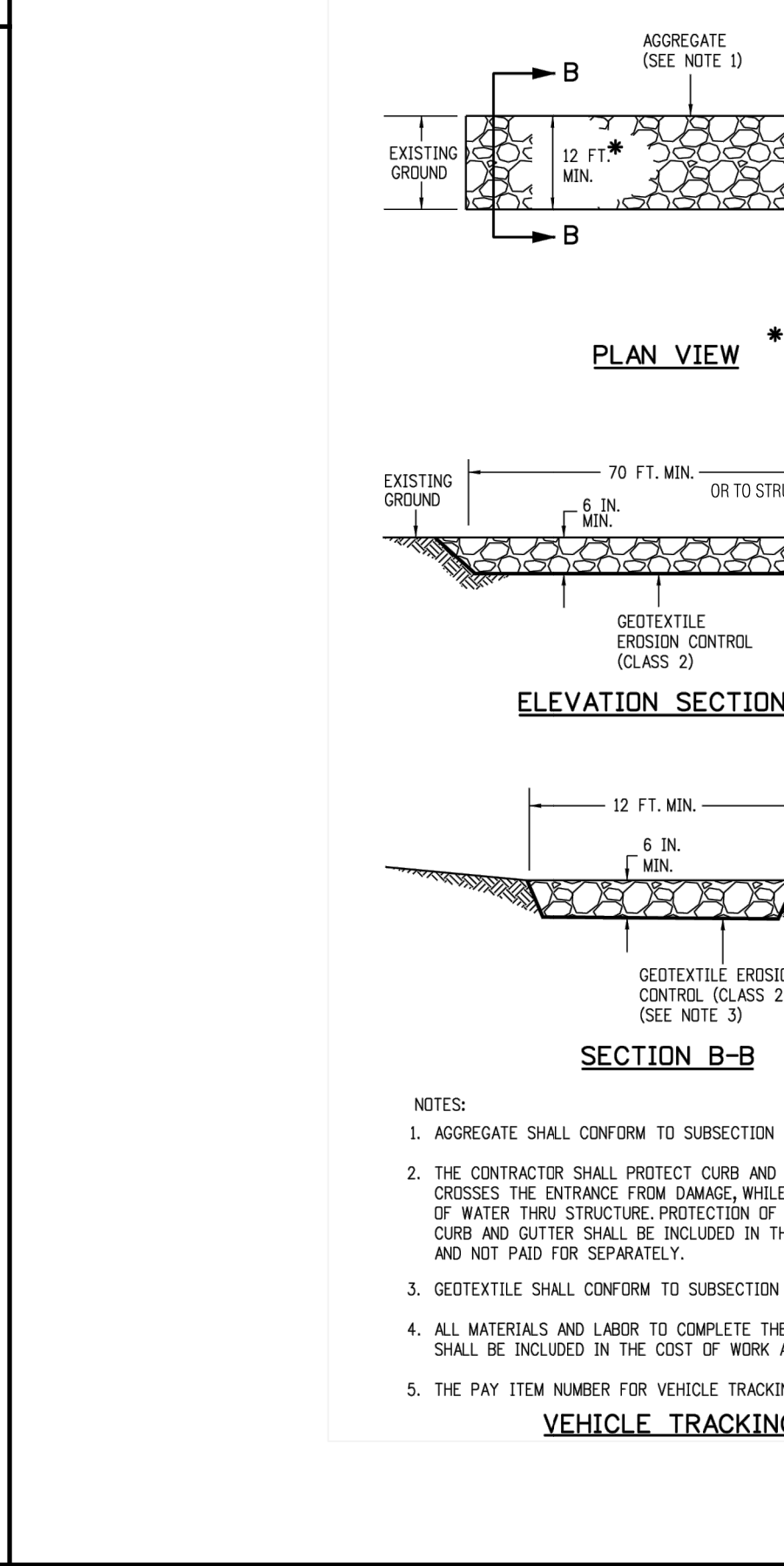
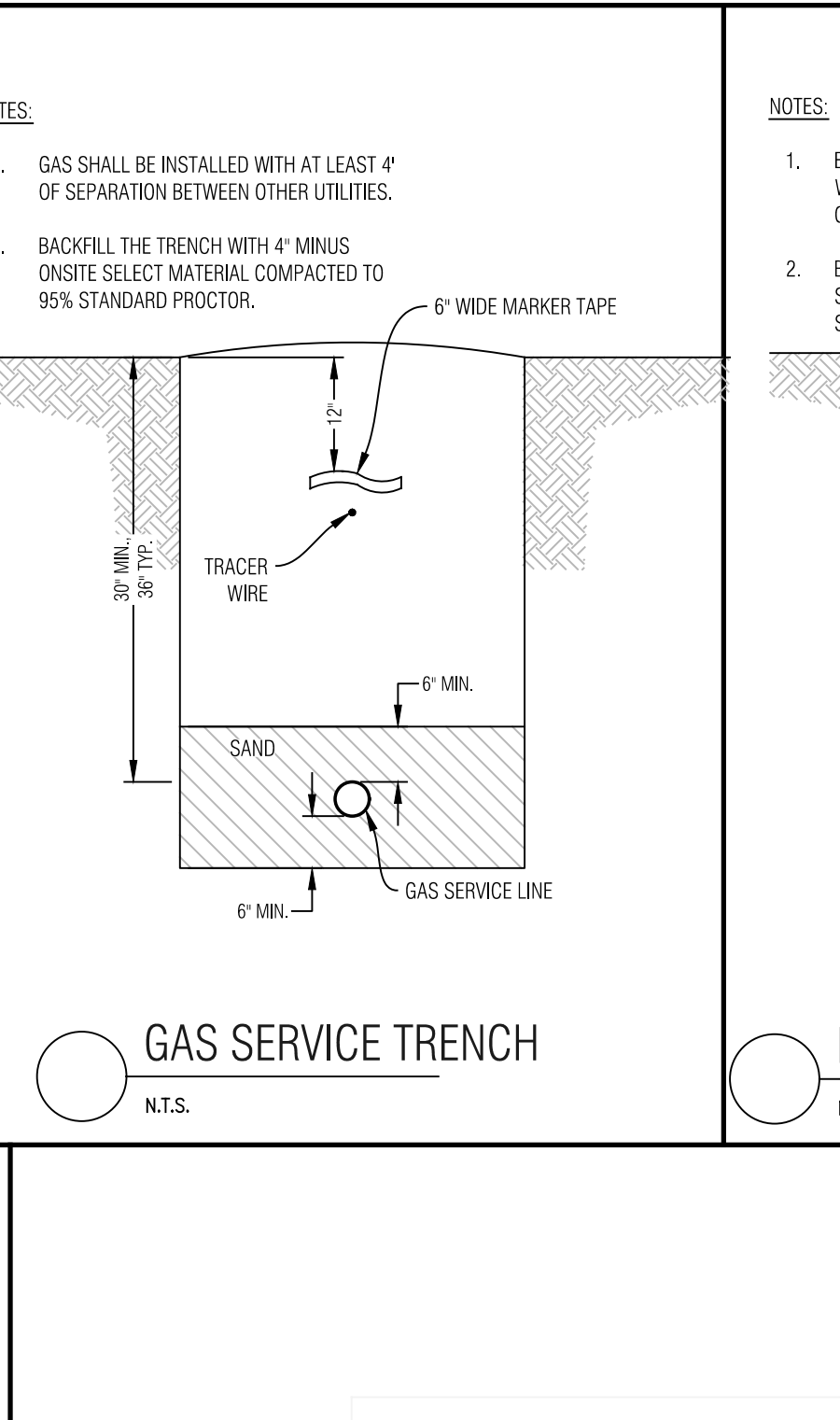
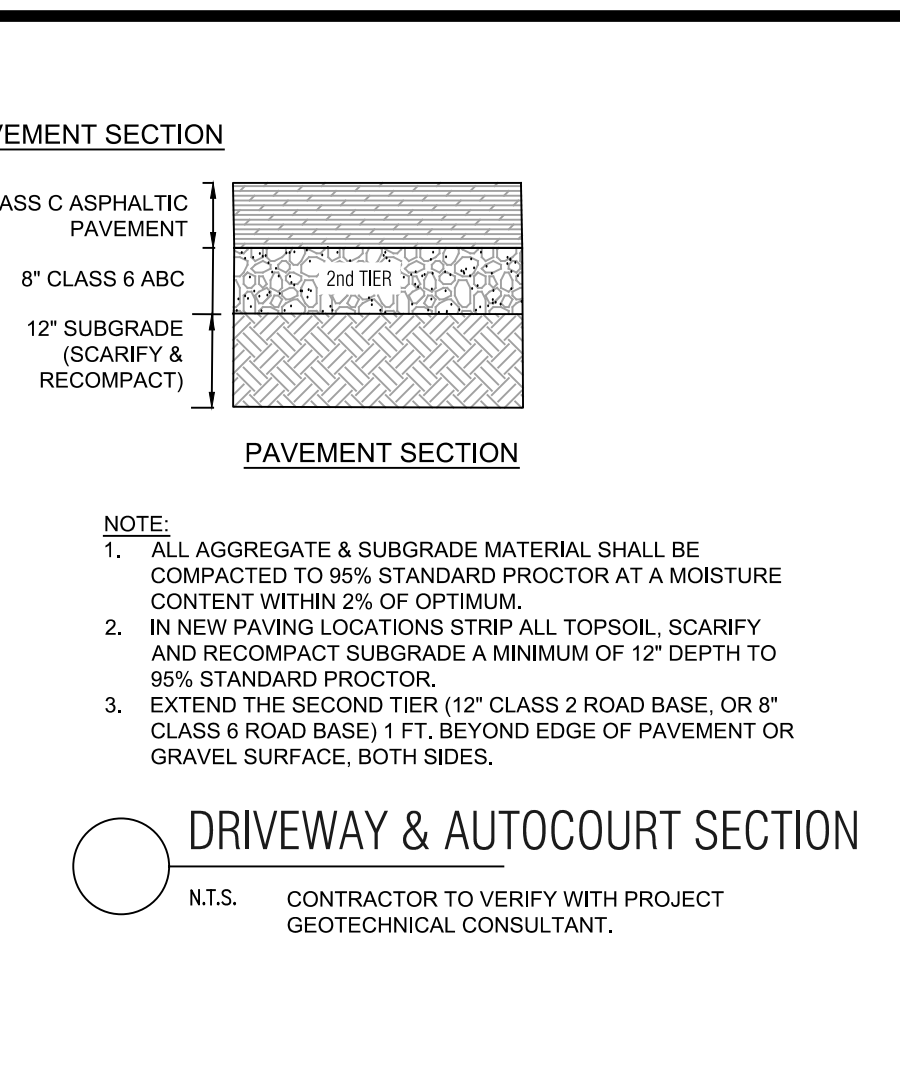
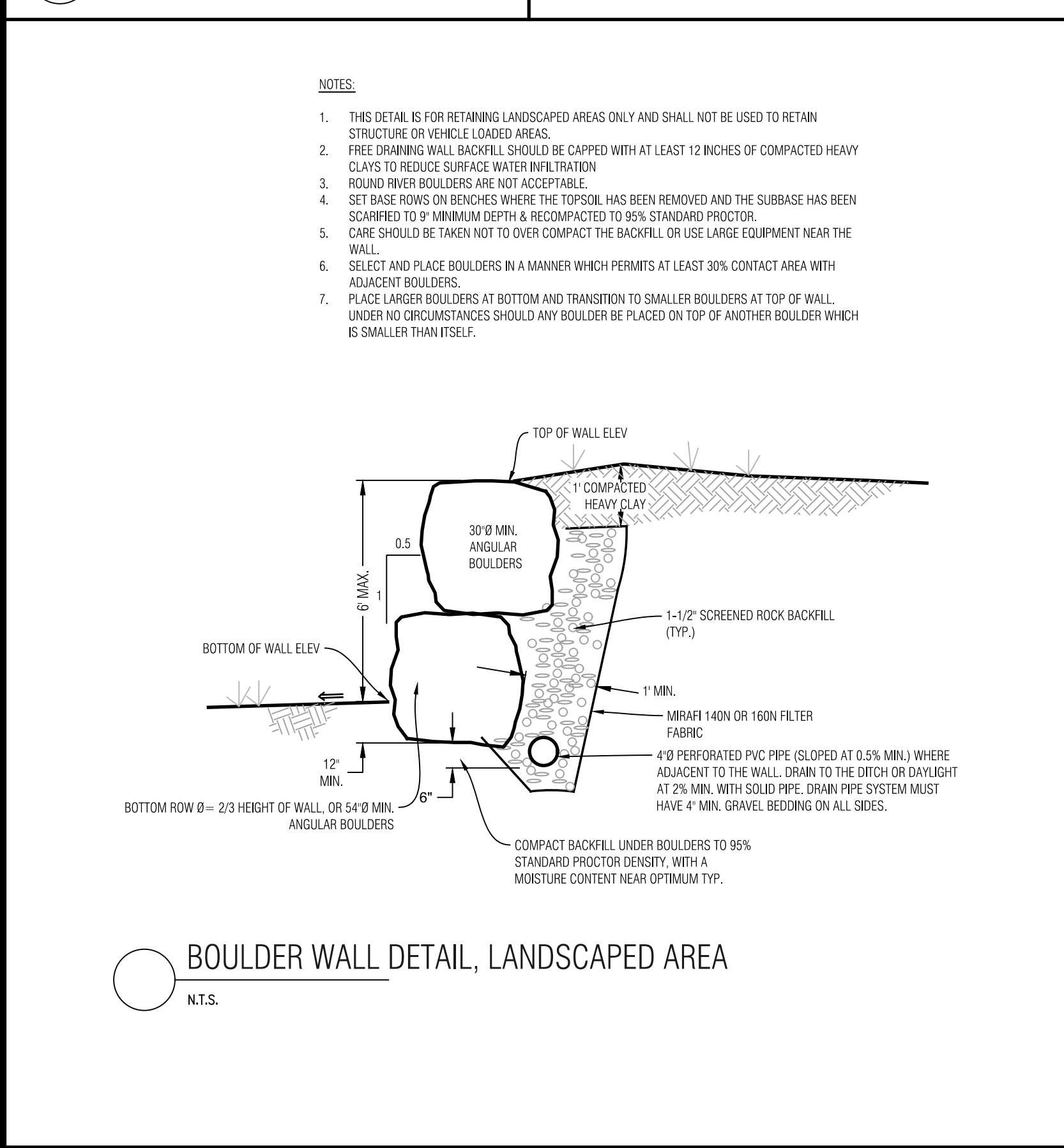
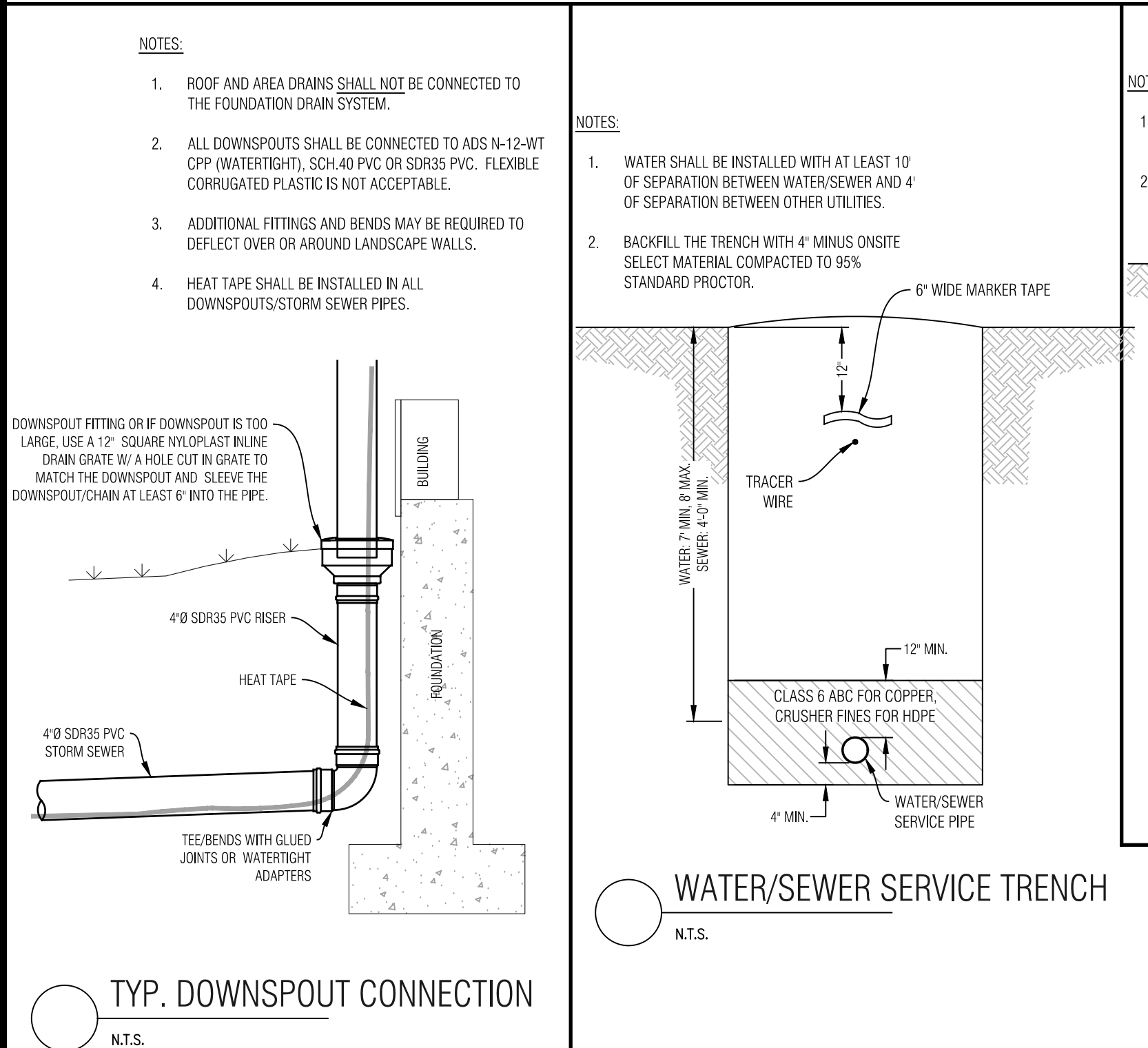
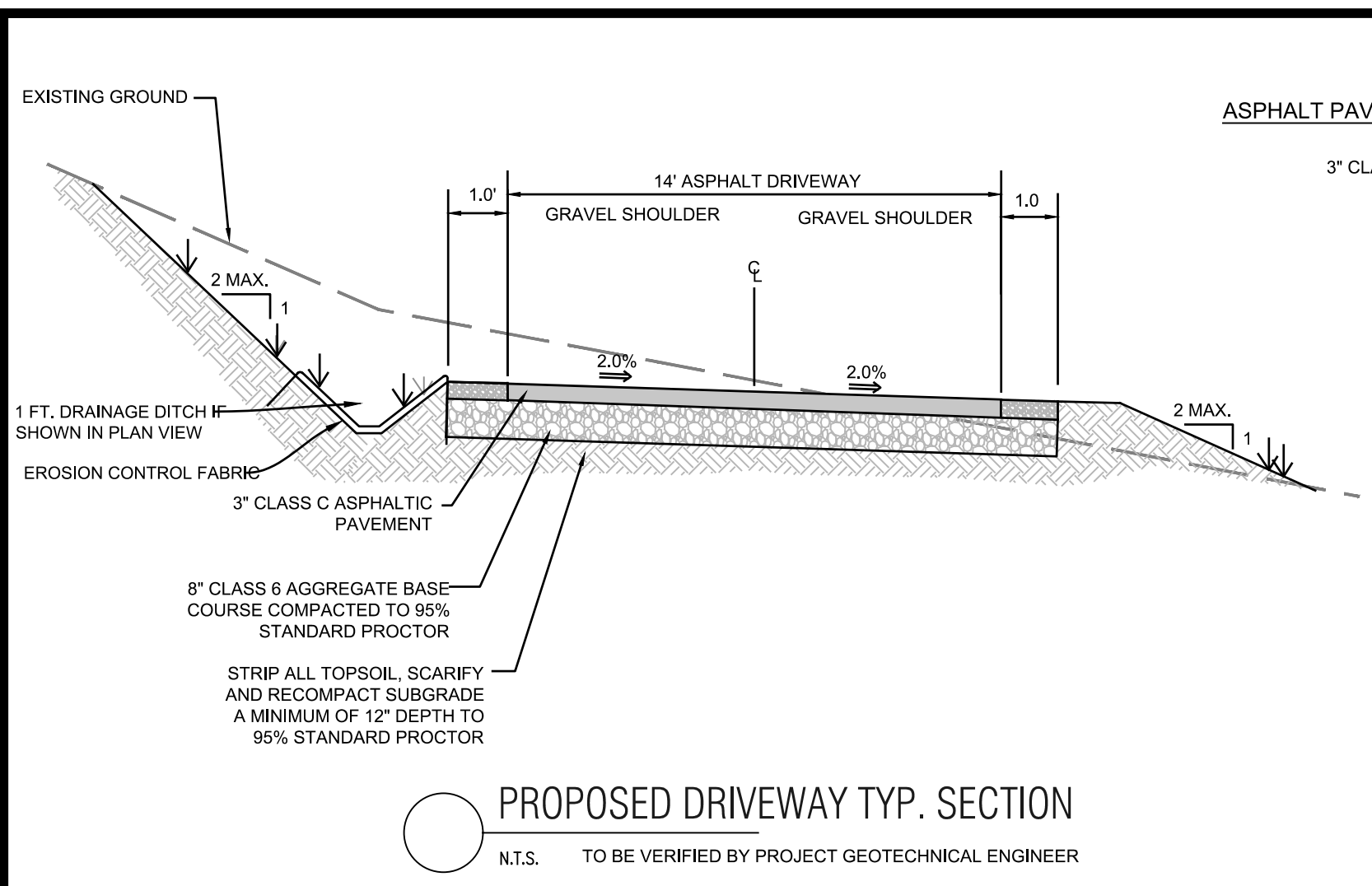
Site, Grading and Drainage Plan
DRB Review Set 4/17/25

No.	Date	Revision	By
1			
2			
3			
4			
5			
6			
7			
8			
9			

PROJECT NO. 23035
Designer: **PAH**
Checker: **BUJ**
Date: **4/10/25**

Sheet **C1**

File Name: **mn lot 25 sp-01.dwg**



Civil Engineering Surveying & Beyond
Boundaries Unlimited Inc.

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(770) 945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If Yes: SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

NOT FOR CONSTRUCTION REVIEW

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH

Scale: 1" = 10'

811
Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

Lot 25, Minturn North P.U.D.
Details and Notes
DRB Review Set 4/17/25

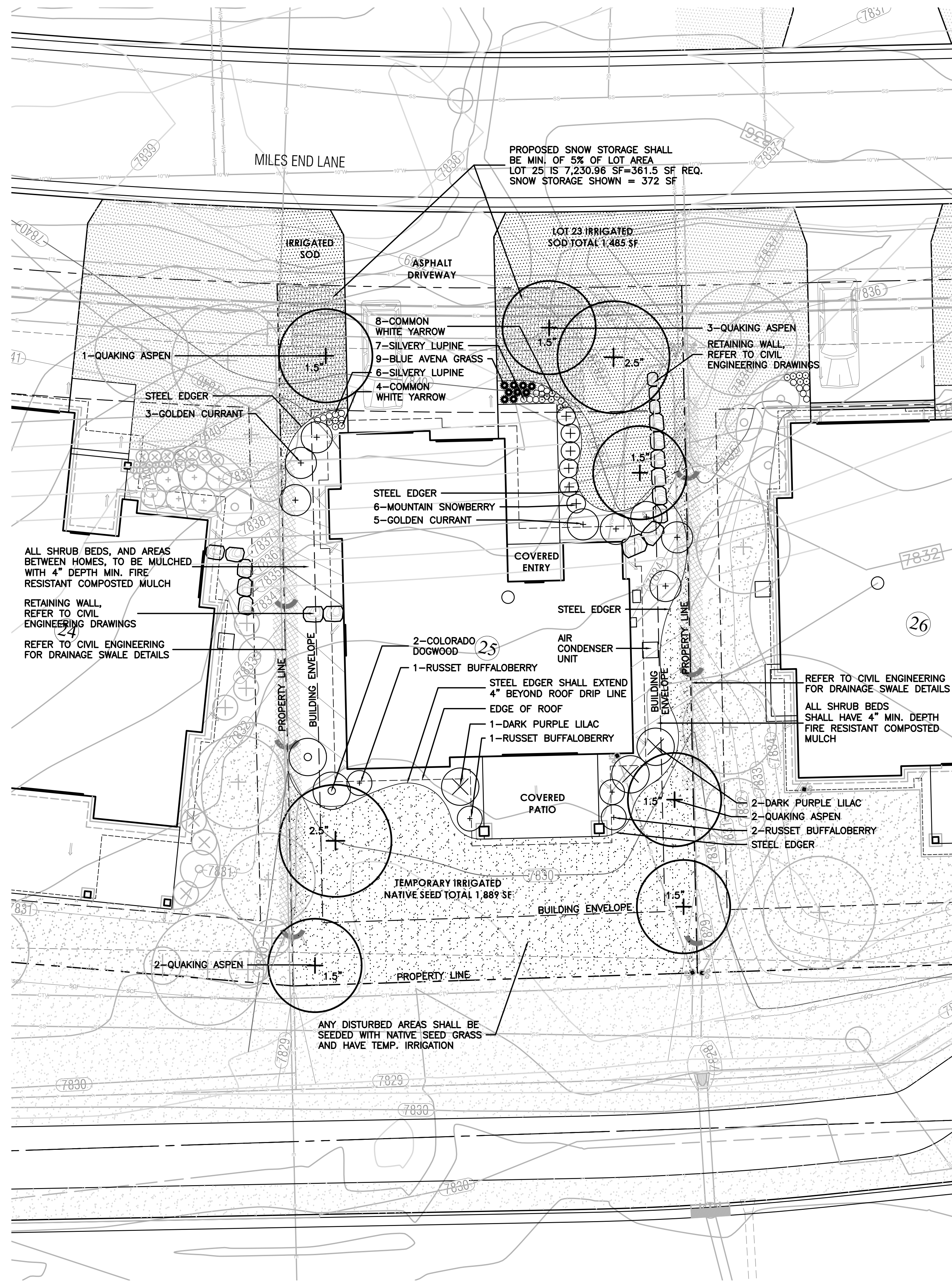
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No.	10

PROJECT NO. 23085
Designer: **PAH**
Checker: **BUJ**
Date: **4/10/25**

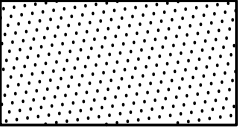
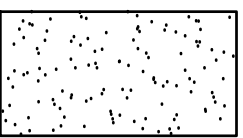
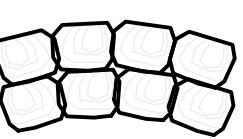
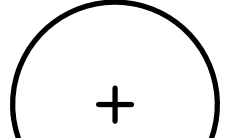
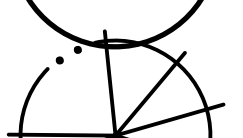

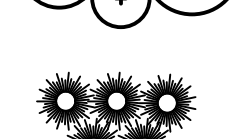
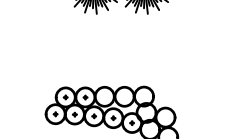
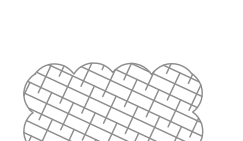
Sheet **C2**

File Name: *ml lot 25 sp-01.dwg*

N:\PROJECTS\2023\23085-Minturn North Individual Lots\Wg\Lot 25 C. Williamson\WLN Lot 25 SP-01.dwg 4/15/2025 2:17 PM



LEGEND

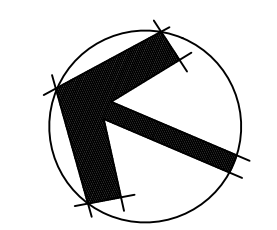
-  IRRIGATED SOD, REFER TO L2 FOR DETAILS
-  NATIVE SEED MIX WITH TEMPORARY IRRIGATION, REFER TO L2 FOR DETAILS
-  PROPOSED RETAINING WALL, REFER TO CIVIL ENGINEERING FOR DETAILS
-  PROPOSED DECIDUOUS TREE
-  PROPOSED EVERGREEN TREE
-  PROPOSED DECIDUOUS SHRUBS
-  PROPOSED ORNAMENTAL GRASSES
-  PROPOSED FLOWERING PERENNIALS
-  SNOW STORAGE AREA



LANDSCAPE ARCHITECT:
 TOMINA TOWNSEND, LA
 PO BOX 3000, PMB 301
 EDWARDS, CO 81632
 P. 303.572.7876
 TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.
LOT 25-LANDSCAPE PLAN
TOWN OF MINTURN, COLORADO

DESIGNED: TT
 DRAWN: TT
 CHECKED: RH
 DATE: April 17, 2025
 REVISIONS:



0 5 10 20
 SCALE: 1"=10'-0"

DRB SUBMITTAL
 SHEET TITLE:
PROPOSED LANDSCAPE PLAN
 SCALE: 1"=10'-0"
 SHEET NUMBER:
L1

General Notes and Specifications:

- All areas disturbed by construction and not designated a shrub bed or sod, shall be planted with the specified native grass seed.
- The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior to planting.
- The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and Town of Minturn standards.
- See Civil Engineering sheets for final grading and drainage.
- Snow Storage area shall be a min. of 25% of all driveway and parking areas.

Revegetation Notes:

- Seed shall be broadcast and raked to 1/4" depth.
- Apply Biodegradable Green Dyed-Wood Cellulose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
- Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete Fertilizer.

Fire Mitigation Recommendations:

- Zone 1 (15' from building and integral planting): no highly flammable plants, such as evergreen trees and shrubs should be planted within 15' of the structure or attachments.
- Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all evergreen trees and shrubs over 4' height. A 4' crown separation must be maintained for evergreen shrubs under 4' height.
- Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
- Existing junipers within Zone 1 and Zone 2 must be limbed 1/2 of their total height, but no more than 10' height.
- Dead limbs shall be removed from all existing Serviceberry within Zone 1 or Zone 2.
- If necessary, final existing vegetation to be limbed or removed for fire mitigation purposes will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Town of Minturn on a unit by unit basis prior to construction.

LEGEND & IRRIGATION CALCULATIONS:		Square Footage of Irrigation
	Permanent Irrigation	
	Permanent Pop-Up Spray Irrigation For Bluegrass Sod	1,485 SF
	Permanent micro-spray or drip irrigation for perennial beds	25 PERENNIALS x 1 SF = 25 SF
	Permanent Drip Irrigation For B&B Trees	8 TREES x 4.5 SF = 36 SF
	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	32 SHRUBS x 3 SF = 96 SF
		TOTAL PERMANENT IRRIGATED AREA: 1,642 SF
	Temporary Spray Irrigation For Native Seed	1,889 SF

IRRIGATION NOTES:

- DESIGN CRITERIA: DESIGN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO UNIFORMLY IRRIGATE ALL PLANTING AREAS. ZONE IRRIGATED SOD, NATIVE SEED GRASS, AND SHRUB PLANTING AREAS SEPARATELY. PROVIDE DRIP IRRIGATION FOR SHRUB BEDS. PROVIDE MICRO-SPRAY HEADS OR DRIP IRRIGATION, DEPENDING ON PLANT MATERIAL, IN PERENNIAL AND GROUND COVER BEDS. DESIGN ROTORS FOR TURF GRASS AREAS MORE THAN 40' WIDE, AND POP-UP SPRAY HEADS FOR AREAS LESS THAN 40' WIDE.
- ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.

ALL DISTURBED AREAS SHALL BE SEEDED WITH: 'DRY NATIVE MOUNTAIN' SEED MIX

THIS SEED MIX HAS BEEN CHOSEN FOR THE SPECIFIC PROJECT LOCATION AND ELEVATION. LANDSCAPE INSTALLER SHALL NOT DEVIATE FROM THIS REVEGETATION SEED MIX WITHOUT WRITTEN APPROVAL FROM THE RESORT CONCEPTS SITE MANAGER.

COMMON NAME	SEEDING RATE % MIX	BULK LBS PER ACRE
SANDBERG BLUE	10%	5.00
MOUNTAIN BROME	20%	10.00
SLENDER WHEATGRASS	15%	7.50
BLUEBUNCH WHEATGRASS	10%	5.00
ROCKY MOUNTAIN FESCUE	10%	5.00
THICKSPIKE WHEATGRASS	15%	7.50
BOTTLEBRUSH SQUIRRELTAIL	2.5%	1.25
STREAMBANK WHEATGRASS	15%	7.50
PRAIRIE JUNEGRASS	2.5%	1.25
TOTAL LBS./ACRE	100%	50

NOTES:

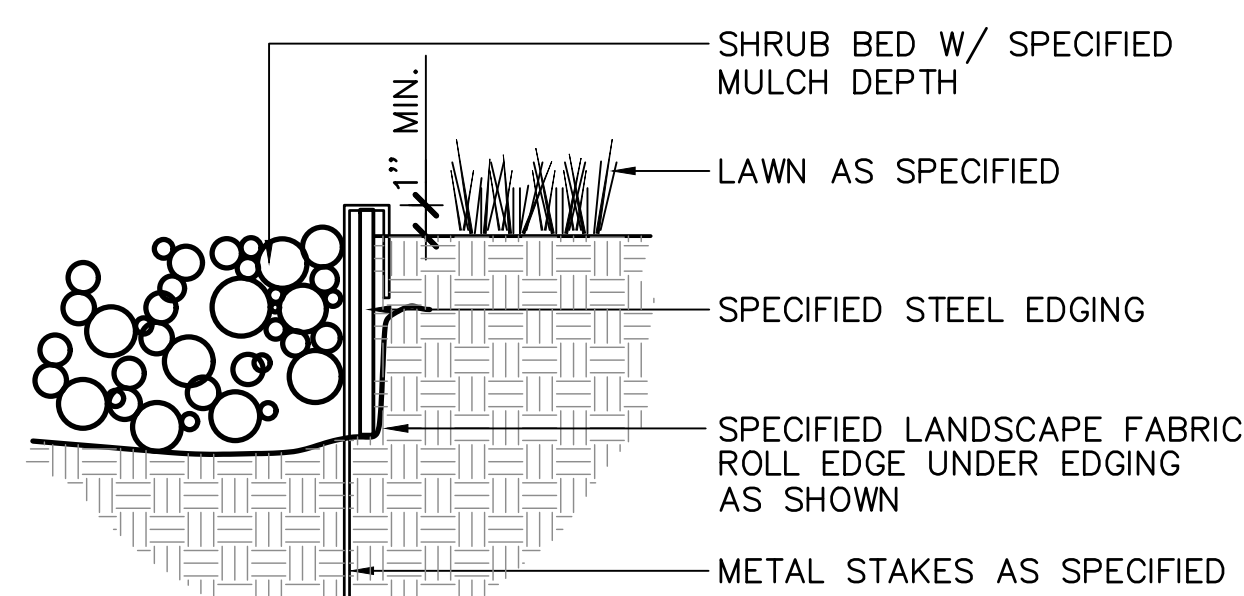
PERCENTAGES OF MIXES VARY YEAR-TO-YEAR DEPENDING ON HARVEST OF SEEDS. HYDROSEED OR HAND BROADCAST: 1 LB. PER 1,000 SQ. FT. OR 50 LBS. PER ACRE. RAKE IN 1/2" DEEP AND IRRIGATE, IF POSSIBLE UNTIL ESTABLISHED. 'DRY NATIVE MOUNTAIN' SEED MIX IS AVAILABLE FROM PAWNEE BUTTES SEED INC., 605 25TH STREET, GREELEY, CO 80632. PHONE: 1-800-782-5947 WEBSITE: PAWNEEBUTTESSEED.COM

PROPOSED PLANT MATERIALS LIST

Note: All plant material has been chosen from the CSU Extension Office recommended plant lists. These lists have been cross referenced to find suitable plants for the elevation of Minturn (10,000 ft and above), and also to maximize use of plants native to the area, low-water use plants, and plants that enhance habitat and food sources for insects, butterflies, birds and other animals. The cross referenced lists are the following:

- CSU Extension, Fire Wise Plant Materials - 6.305
- CSU Extension, Trees and Shrubs for Mountain Areas - Fact Sheet No. 7.423
- CSU Extension, Low-Water Native Plants for Colorado Gardens, Mountains 7,500' and Above - CO Native Plant Society
- CSU Extension, Native Trees for Colorado Landscapes - Fact Sheet No. 7.421
- CSU Extension, Native Shrubs for Colorado Landscapes - Fact Sheet No. 7.422

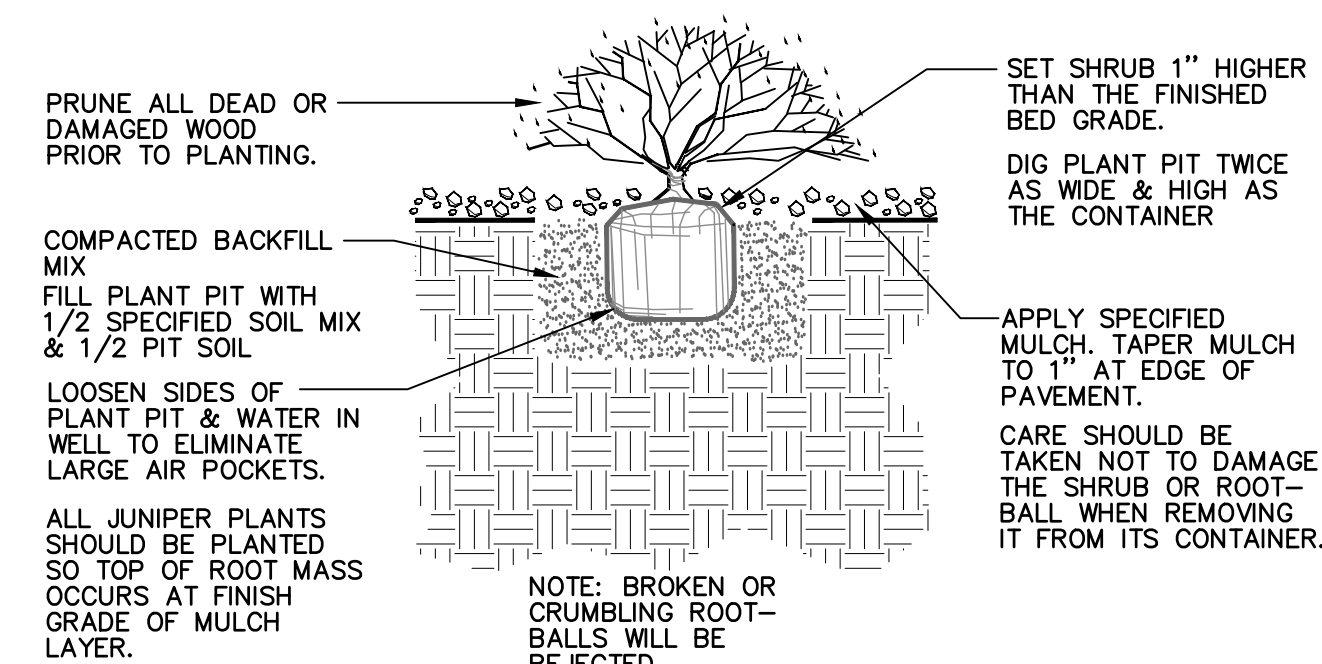
QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
DECIDUOUS TREES				
6	Quaking Aspen Populus tremuloides	1 & 2	1.5" cal.	Specimen quality B&B, guyed
2	Quaking Aspen Populus tremuloides	1 & 2	2.5" cal.	Specimen quality B&B, guyed
ORNAMENTAL GRASSES (planted @ 12" O.C. spacing)				
9	Helictotrichon sempervirens Blue Avena Grass	1 & 2	1 gal.	Container Full
PERENNIAL FLOWERS (planted @ 12" O.C. spacing)				
12	Common White Yarrow Achillea millefolium	1 & 2	Flats of 15 or 32	
13	Silvery Lupine Lupinus argenteus	1 & 2	Flats of 15	
DECIDUOUS SHRUBS				
2	Colorado Dogwood Cornus sericea coloradense	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
3	Dark Purple Lilac Syringa vulgaris	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
8	Golden Currant Ribes aureum	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
6	Mountain Snowberry Symphoricarpos oreophilus	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
4	Russet Buffaloberry Shepherdia canadensis	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.



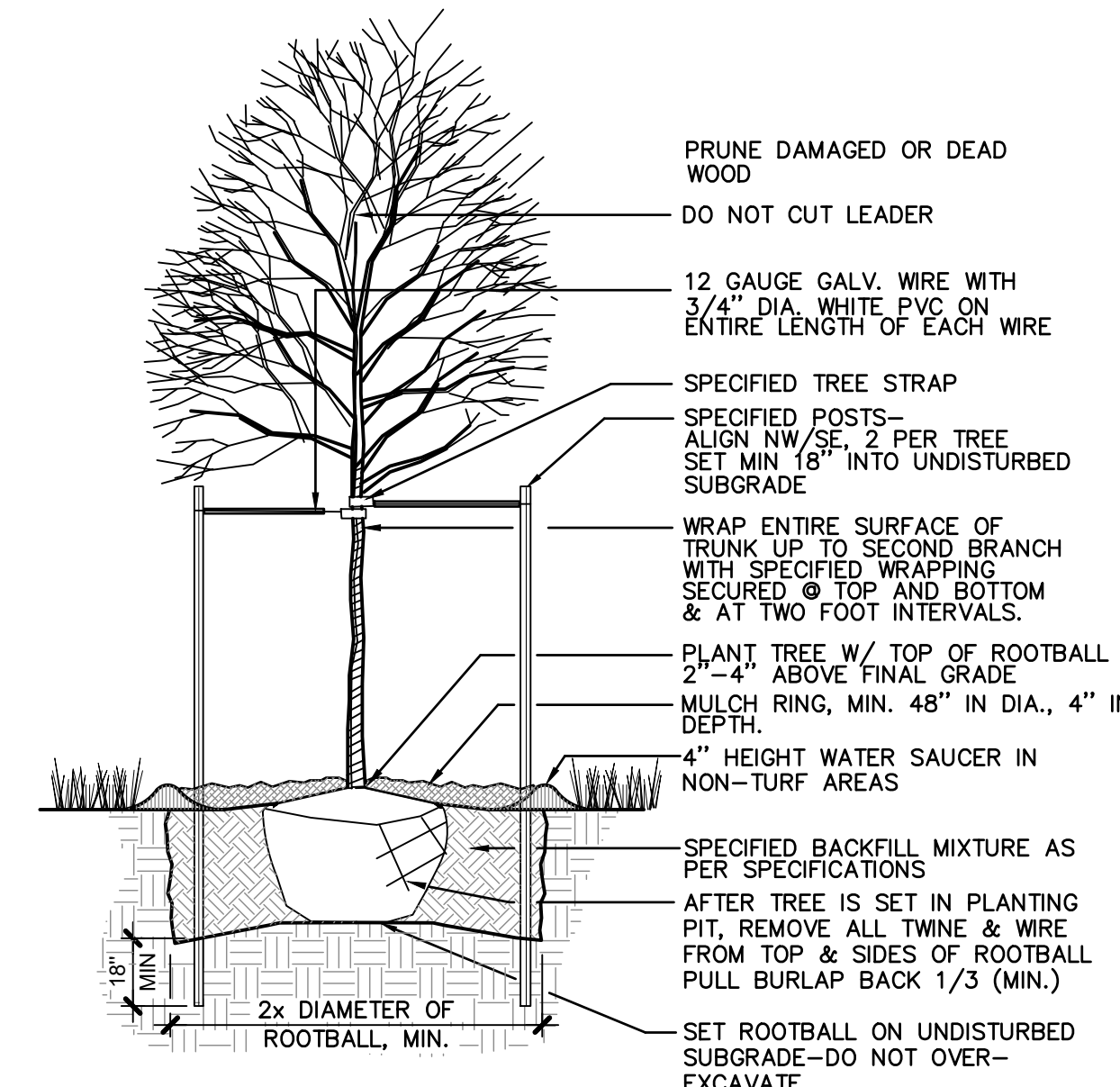
NOTES:

- SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
- EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
- ALL JOINTS TO BE SECURELY STAKED.
- CONTRACTOR SHALL CUT TOP EDGE(S) AS NEEDED TO BE PARALLEL WITH GRADE.

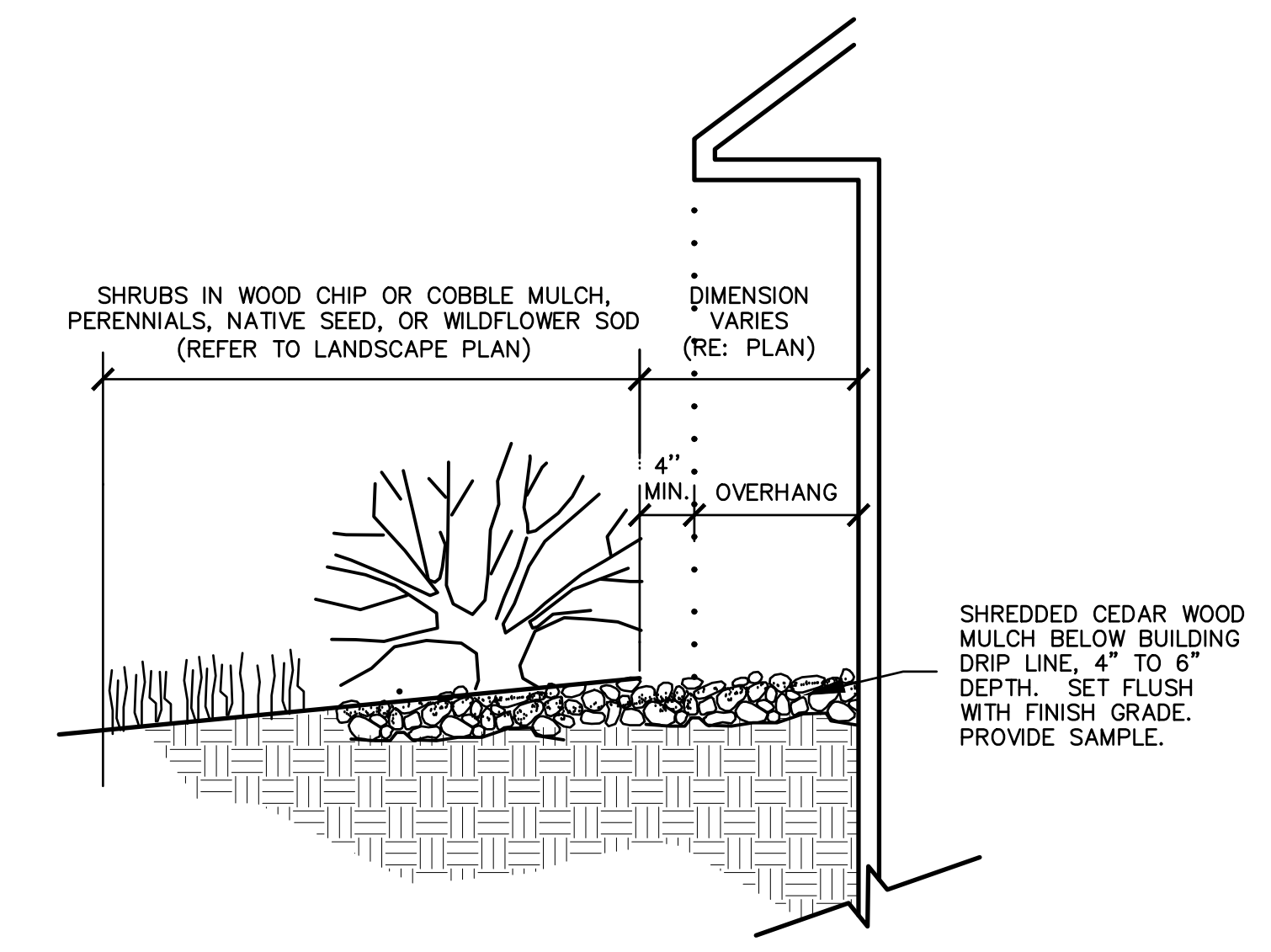
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L2 NOT TO SCALE



2 SHRUB PLANTING
L2 NOT TO SCALE



3 DECIDUOUS TREE PLANTING
L2 NOT TO SCALE



4 MULCH ARMORED DRIP LINE
L2 NOT TO SCALE



LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

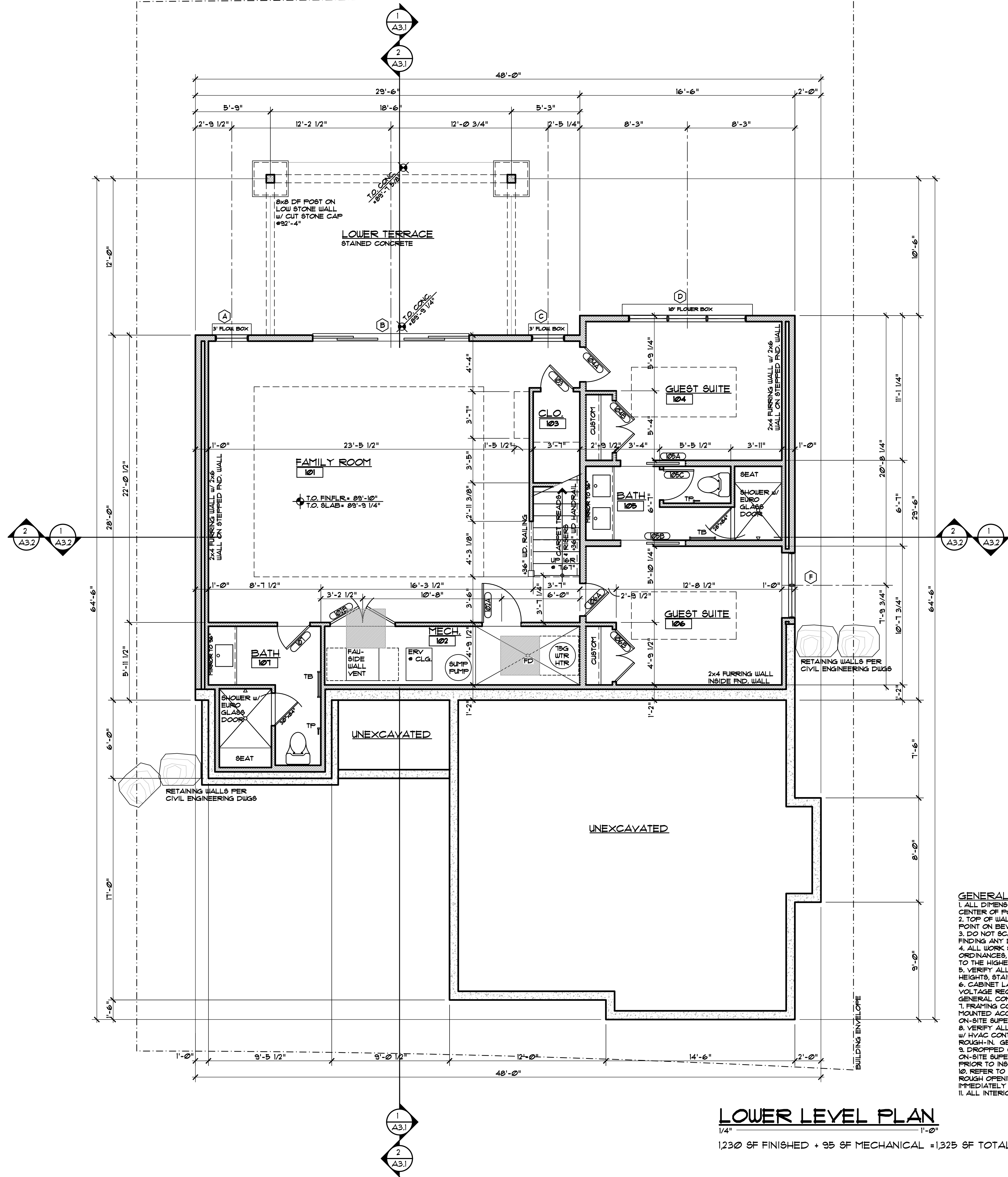
MINTURN NORTH P.U.D.
LOT 25-LANDSCAPE PLAN
TOWN OF MINTURN, COLORADO

DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 17, 2025
REVISIONS:

DRB SUBMITTAL

SHEET TITLE:
LANDSCAPE NOTES & DETAILS
SCALE: NOT TO SCALE
SHEET NUMBER:

L2



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE OR CENTER OF POSTS, UNLESS NOTED OTHERWISE.
 2. TOP OF WALL HEIGHTS EQUAL TOP OF FLAT PLATE OR LOWER POINT ON BEVELED WALL PLATES.
 3. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY UPON FINDING ANY DISCREPANCIES IN DOCUMENTS.
 4. ALL WORK SHALL COMPLY WITH STATE & LOCAL CODES AND ORDINANCES, BE BUILT TO INDUSTRY STANDARDS AND BE PERFORMED TO THE HIGHEST LEVEL OF CRAFTSMANSHIP.
 5. VERIFY ALL FINISHED FLOOR THICKNESS FOR DETERMINING MOUNTING HEIGHTS, STAIR CONSTRUCTION, ETC. (3/4" SHOWN ON PLANS MAY VARY).
 6. CABINET LAYOUT, APPLIANCE SPECIFICATIONS, AND ELECTRICAL/LOW VOLTAGE REQUIREMENTS & LOCATIONS NEED TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 7. FRAMING CONTRACTOR TO PROVIDE BLOCKING FOR ALL SURFACE MOUNTED ACCESSORIES AND SHALL COORDINATE PLACEMENT WITH ON-SITE SUPERVISOR PRIOR TO INSTALLATION.
 8. VERIFY ALL VENTING, DUCTWORK, SUPPLY AND RETURN AIR LOCATIONS W/ HVAC CONTRACTOR PRIOR TO COMPLETION OF FRAMING & ELECTRICAL ROUGH-IN. GENERAL CONTRACTOR TO APPROVE ALL LOCATIONS.
 9. DROPPED CEILING AND SOFFIT LOCATIONS SHALL BE APPROVED BY ON-SITE SUPERVISOR AND COORDINATED W/ M.E.P. SUB-CONTRACTORS PRIOR TO INSTALLATION.
 10. REFER TO WINDOW MANUFACTURER SHOP DRAWINGS FOR EXACT ROUGH OPENINGS FOR ALL DOORS & WINDOWS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY ISSUES REGARDING HEADERS AND/OR POSTING.
 11. ALL INTERIOR DRYWALL IS 5/8" GYPSUM BOARD, UNO.

LOWER LEVEL PLAN
1/4" = 1'-0"

1,230 SF FINISHED + 95 SF MECHANICAL = 1,325 SF TOTAL

EGGERS
ARCHITECTURE, INC.
PO BOX 798
KREMMLING, CO 80459
(970) 724-3411 CELL: (970) 409-9790
don.eggert@eggersarchitecture.com

RESORT CONCEPTS
225 MAIN STREET, SUITE C-101
EDWARDS, COLORADO
(970) 926-1720

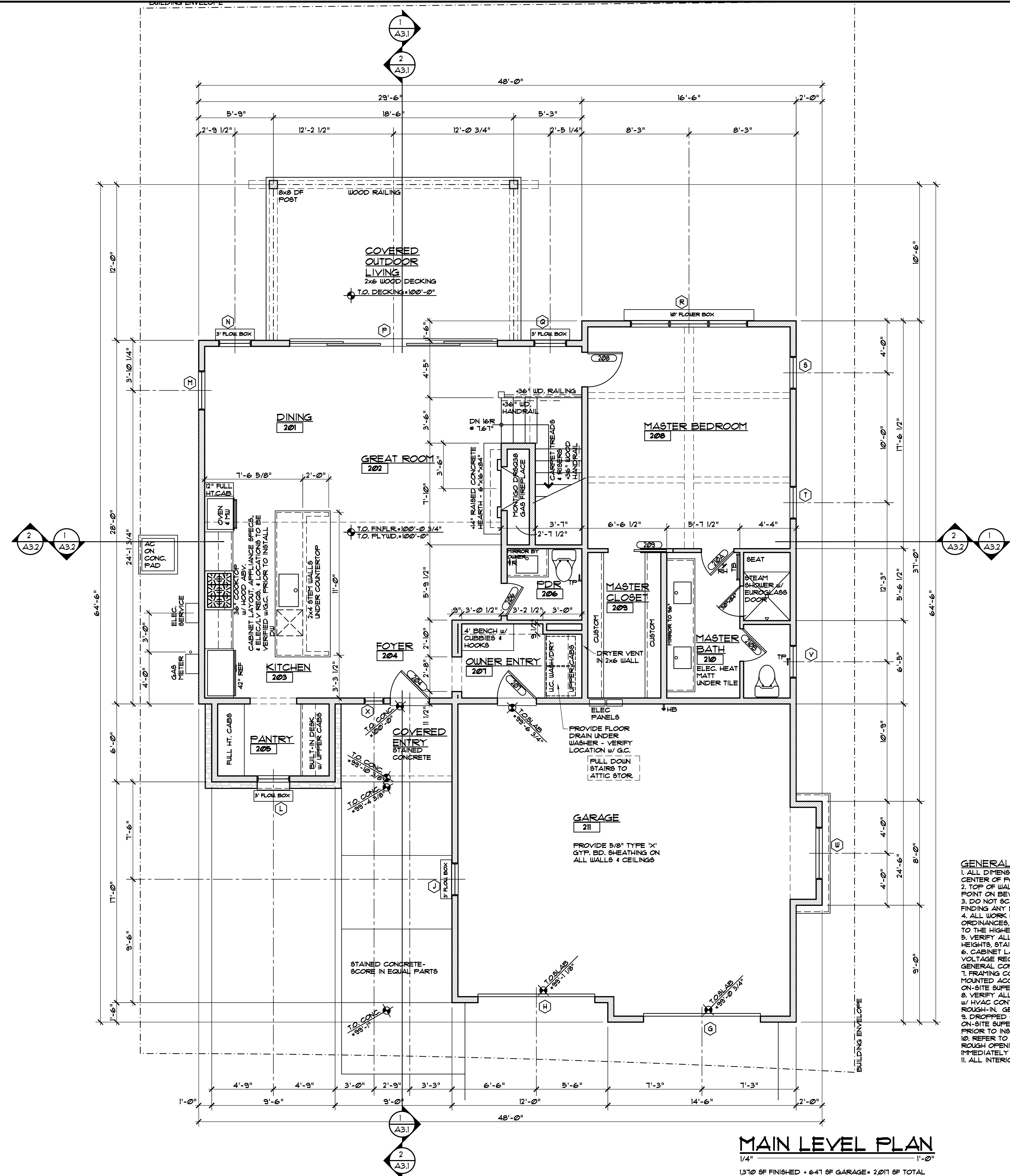
C. WILHELMSEN
0111 MILES END LANE
LOT 25, MINTURN NORTH
MINTURN, COLORADO

PROJECT NO: 2412-22 L25

ISSUED #	DATE	BY	COMMENTS
2	4-11-25	DUE	DRB SUBMITTAL SET
1	4-08-25	DUE	PROGRESS SET

A1.1

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPER'S SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPER'S SOLE DISCRETION.



MAIN LEVEL PLAN
 1/4" = 1'-0"
 1310 SF FINISHED + 641 SF GARAGE + 201 SF TOTAL

- GENERAL NOTES:**
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 9. DROPPED CEILING AND SOFFIT LOCATIONS SHALL BE APPROVED BY ON-SITE SUPERVISOR AND COORDINATED w/ M.E.P. SUB-CONTRACTORS PRIOR TO INSTALLATION.
 10. REFER TO WINDOW MANUFACTURER SHOP DRAWINGS FOR EXACT ROUGH OPENINGS FOR ALL DOORS & WINDOWS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY ISSUES REGARDING HEADERS AND/OR POSTING.
 11. ALL INTERIOR DRYWALL IS 5/8" GYPSUM BOARD, UNO.

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

EGGERS
 ARCHITECTURE, INC.
 PO BOX 798
 KREMMLING, CO 80459
 (970) 724-3411
 CELL: (970) 409-9790
 don.eggert@eggersarchitecture.com

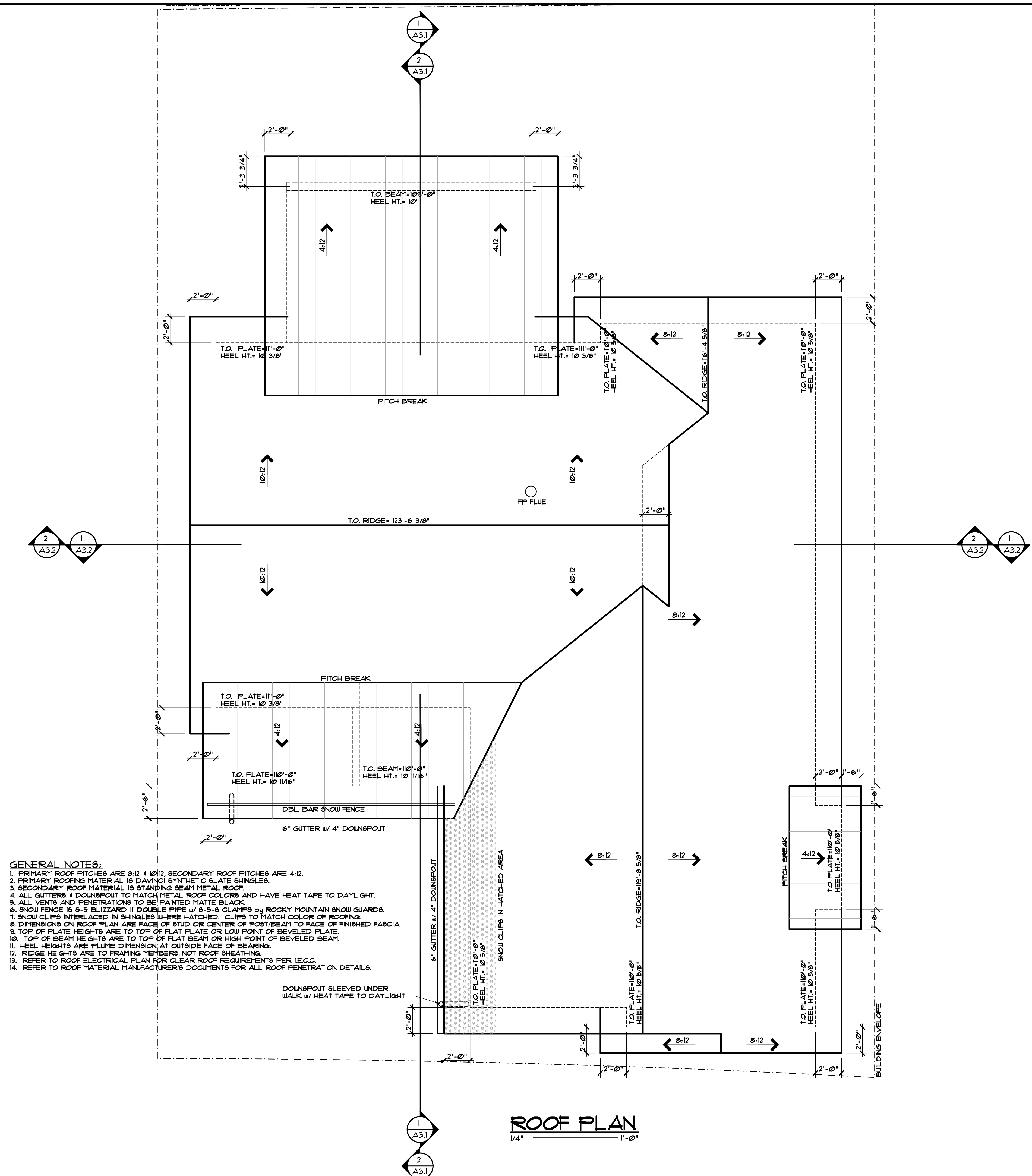
RESORT CONCEPTS
 225 MAIN STREET, SUITE C-101
 EDWARDS, COLORADO
 (970) 926-1720

C. WILHELMSEN
 0111 MILES END LANE
 LOT 25, MINTURN NORTH
 MINTURN, COLORADO

PROJECT NO: 2412-22 L25

ISSUED #	DATE	BY	COMMENTS
2	4-11-25	DUE	DRB SUBMITTAL SET
1	4-08-25	DUE	PROGRESS SET

A1.2



- GENERAL NOTES:**
1. PRIMARY ROOF PITCHES ARE 8:12 & 10:12, SECONDARY ROOF PITCHES ARE 4:12.
 2. PRIMARY ROOFING MATERIAL IS DAVINCI SYNTHETIC SLATE SHINGLES.
 3. SECONDARY ROOFING MATERIAL IS STANDING SEAM METAL ROOF.
 4. ALL GUTTERS & DOWNSPOUT TO MATCH METAL ROOF COLORS AND HAVE HEAT TAPE TO DAYLIGHT.
 5. ALL VENTS AND PENETRATIONS TO BE PAINTED MATTIE BLACK.
 6. SNOW FENCE IS 6-5 BLIZZARD II DOUBLE PIPE W/ 5-5-5 CLAMPS BY ROCKY MOUNTAIN SNOW GUARDS.
 7. SNOW CLIPS INTERLACED IN SHINGLES WHERE HATCHED. CLIPS TO MATCH COLOR OF ROOFING.
 8. DIMENSIONS ON ROOF PLAN ARE FACE OF STUD OR CENTER OF POST/BEAM TO FACE OF FINISHED FASCIA.
 9. TOP OF PLATE HEIGHTS ARE TO TOP OF FLAT PLATE OR LOW POINT OF BEVELED PLATE.
 10. TOP OF BEAM HEIGHTS ARE TO TOP OF FLAT BEAM OR HIGH POINT OF BEVELED BEAM.
 11. HEEL HEIGHTS ARE PLUMB DIMENSION AT OUTSIDE FACE OF BEARING.
 12. RIDGE HEIGHTS ARE TO FRAMING MEMBERS, NOT ROOF SHEATHING.
 13. REFER TO ROOF ELECTRICAL PLAN FOR CLEAR ROOF REQUIREMENTS PER I.E.C.C.
 14. REFER TO ROOF MATERIAL MANUFACTURER'S DOCUMENTS FOR ALL ROOF PENETRATION DETAILS.

ROOF PLAN
1/4" = 1'-0"

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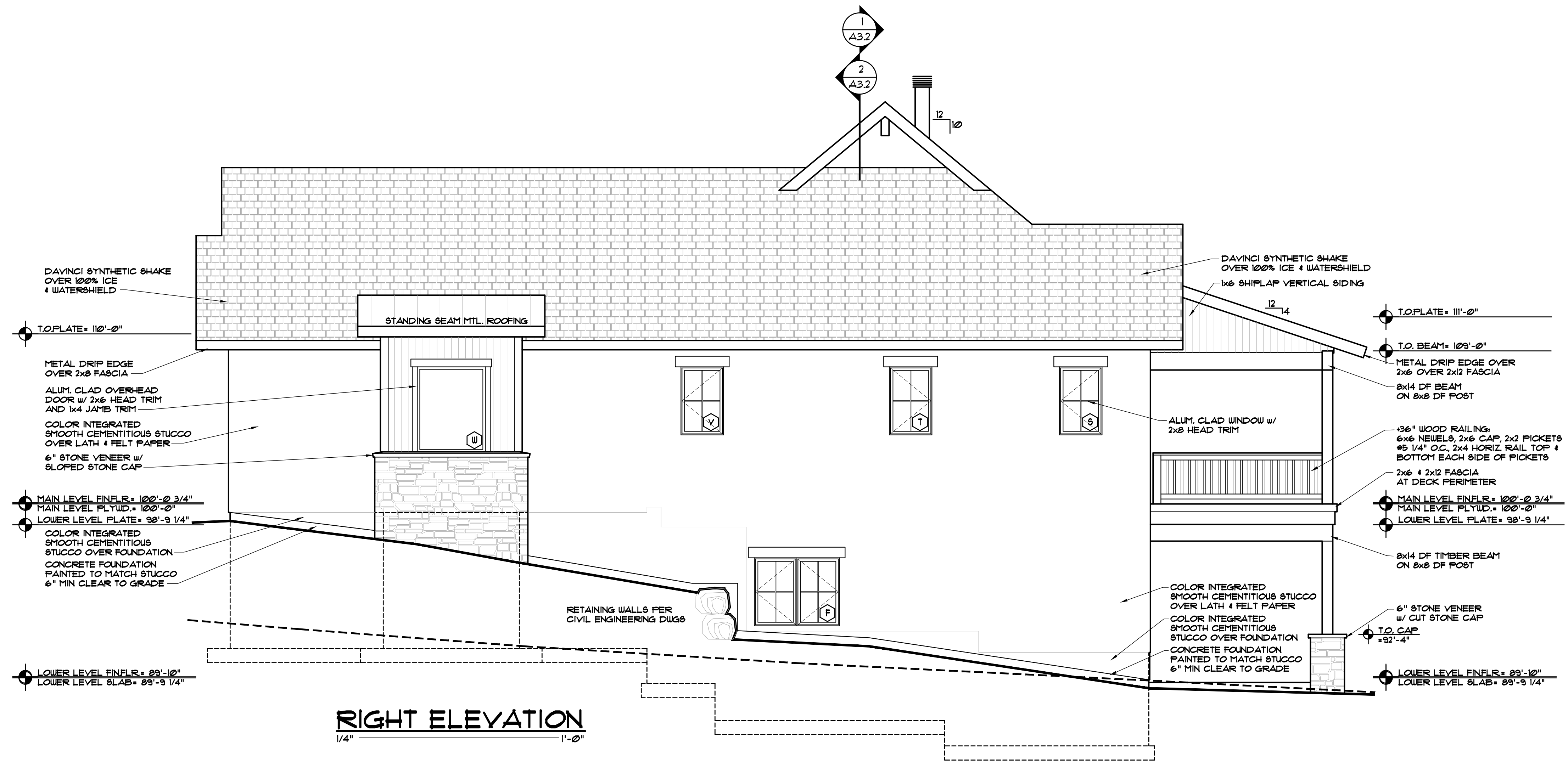
RESORT CONCEPTS
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EDWARDS, COLORADO
(970) 926-1720

C. WILHELMSEN
0111 MILES END LANE
LOT 25, MINTURN NORTH
MINTURN, COLORADO

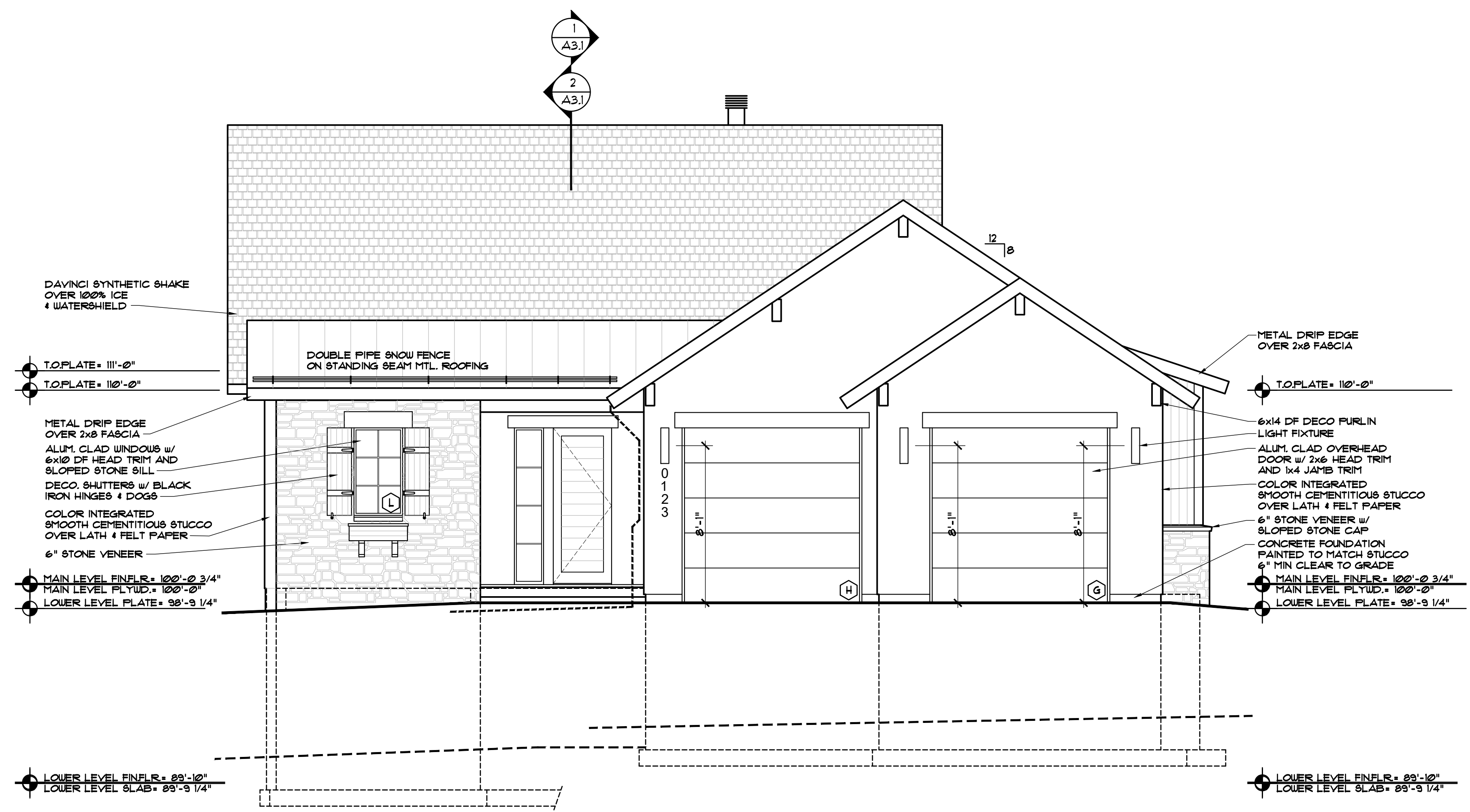
PROJECT NO: 2412-22 L25

ISSUED #	DATE	BY	COMMENTS
2	4-11-25	DUE	DRB SUBMITTAL SET
1	4-08-25	DUE	PROGRESS SET

A1.3



RIGHT ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

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C. WILHELMSEN
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MINTURN, COLORADO

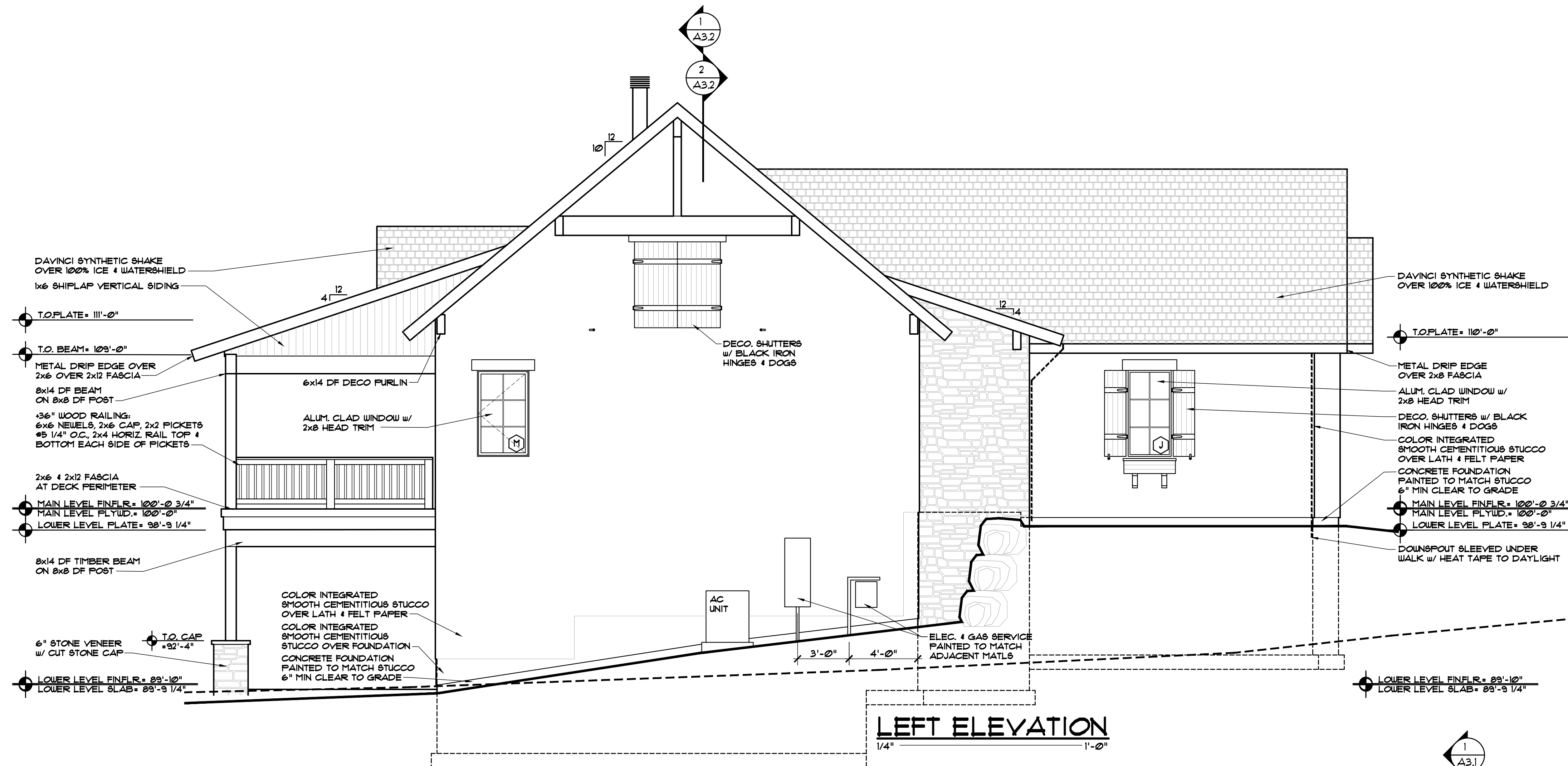
PROJECT NO: 2412-22 L.25

ISSUED #	DATE	BY	COMMENTS
2	4-11-25	DUE	DRB SUBMITTAL SET
1	4-08-25	DUE	PROGRESS SET

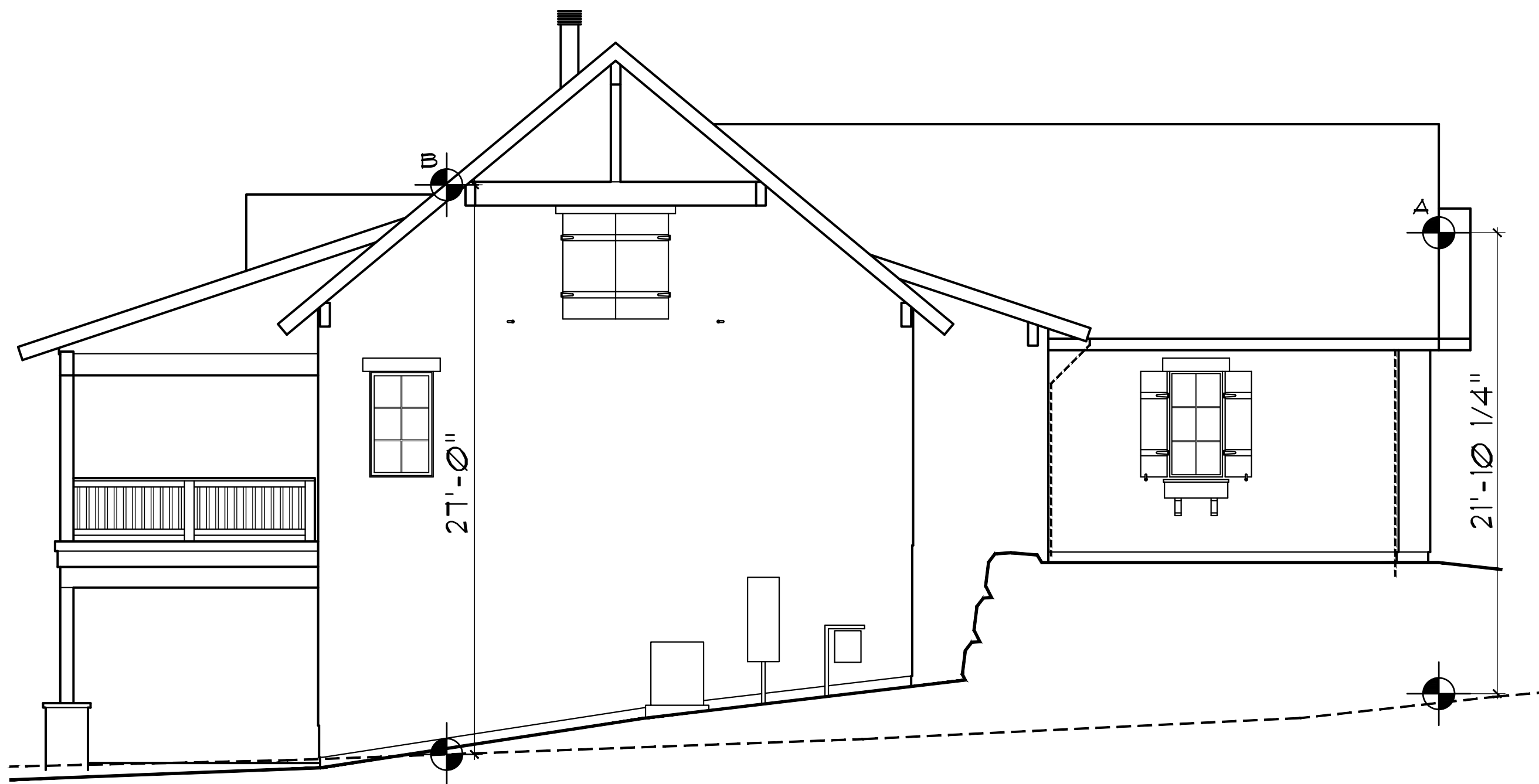
A2.1

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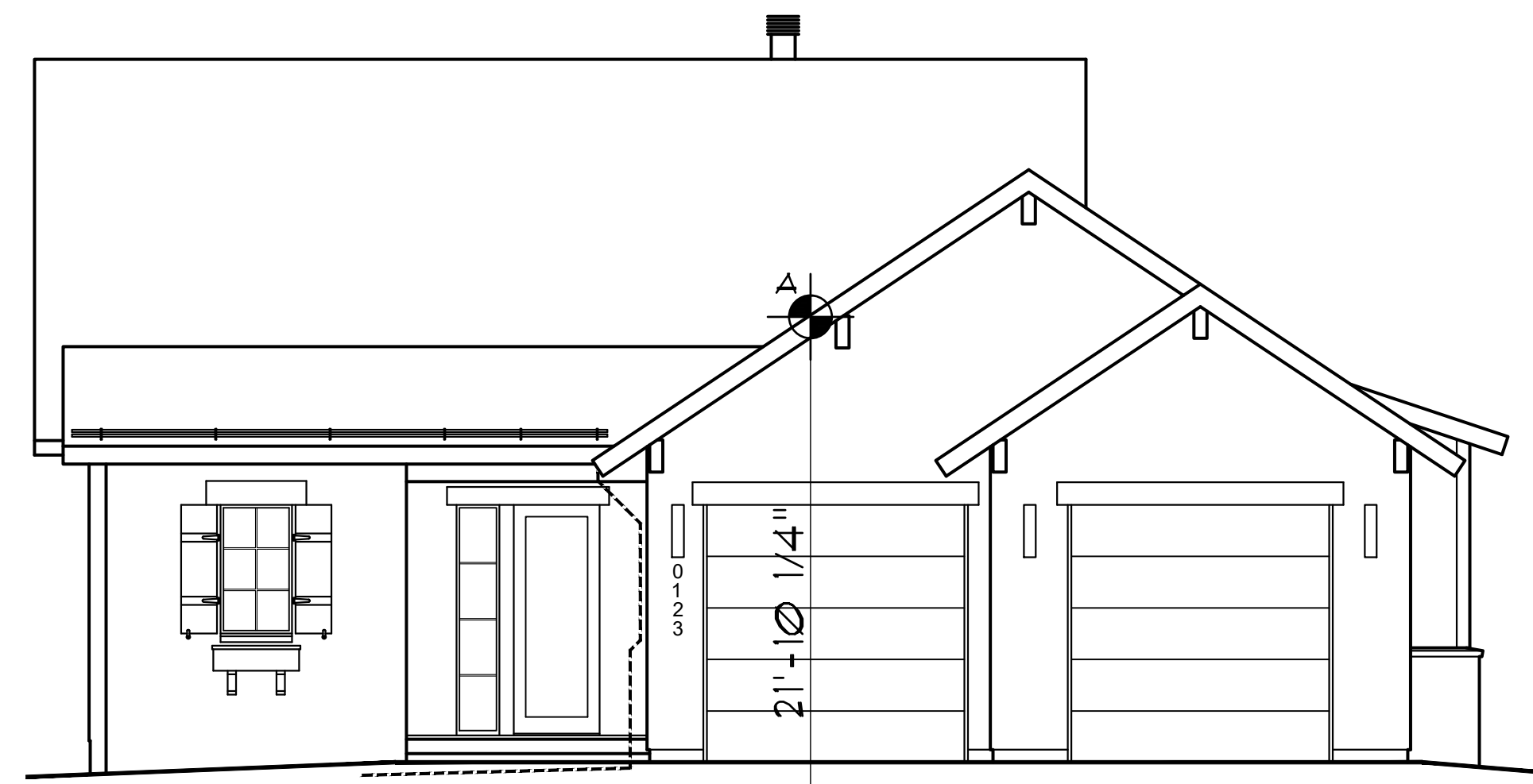
ISSUED	#	DATE	BY	COMMENTS
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	1	4-08-25		DUE PROGRESS SET



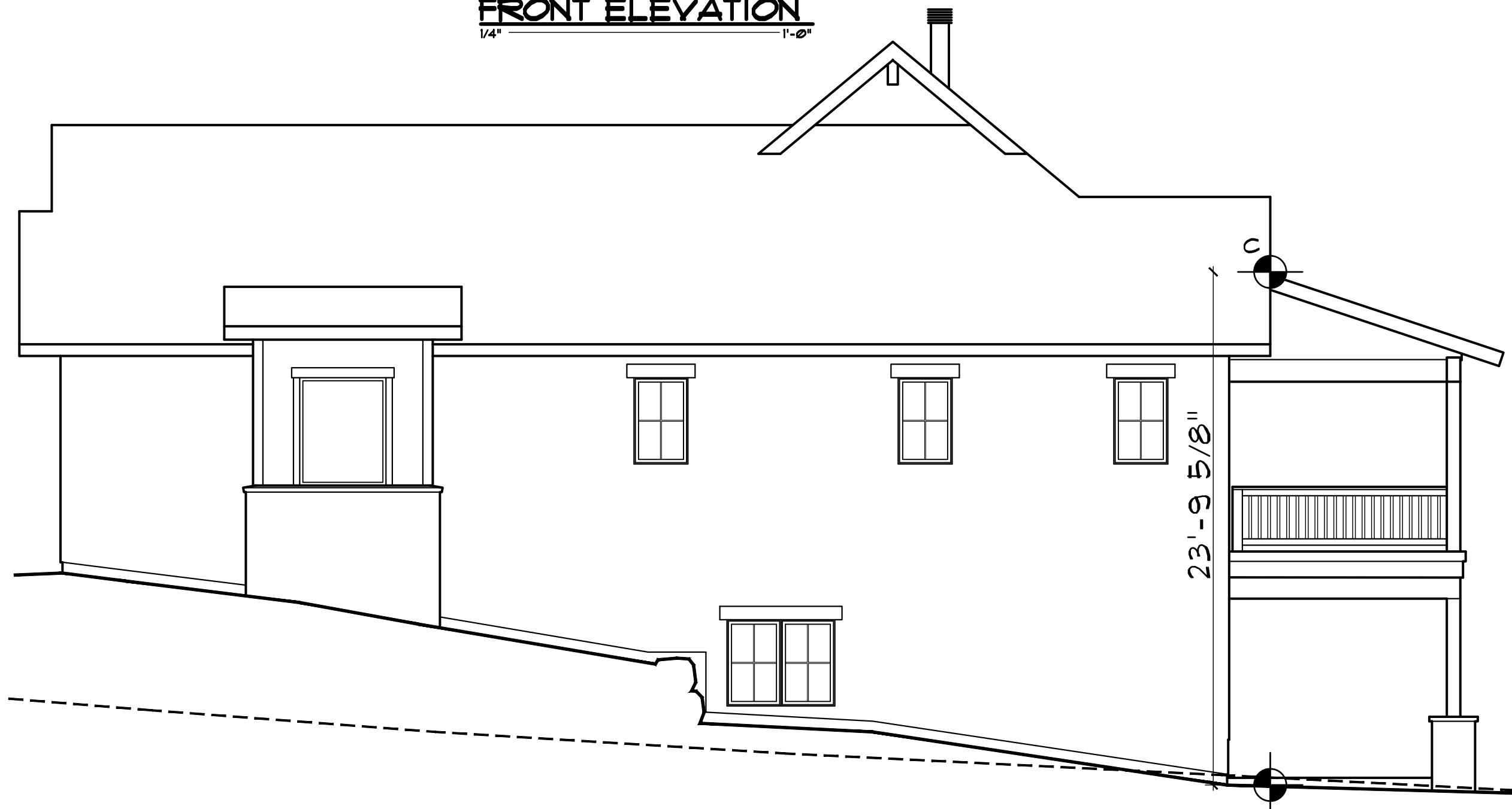
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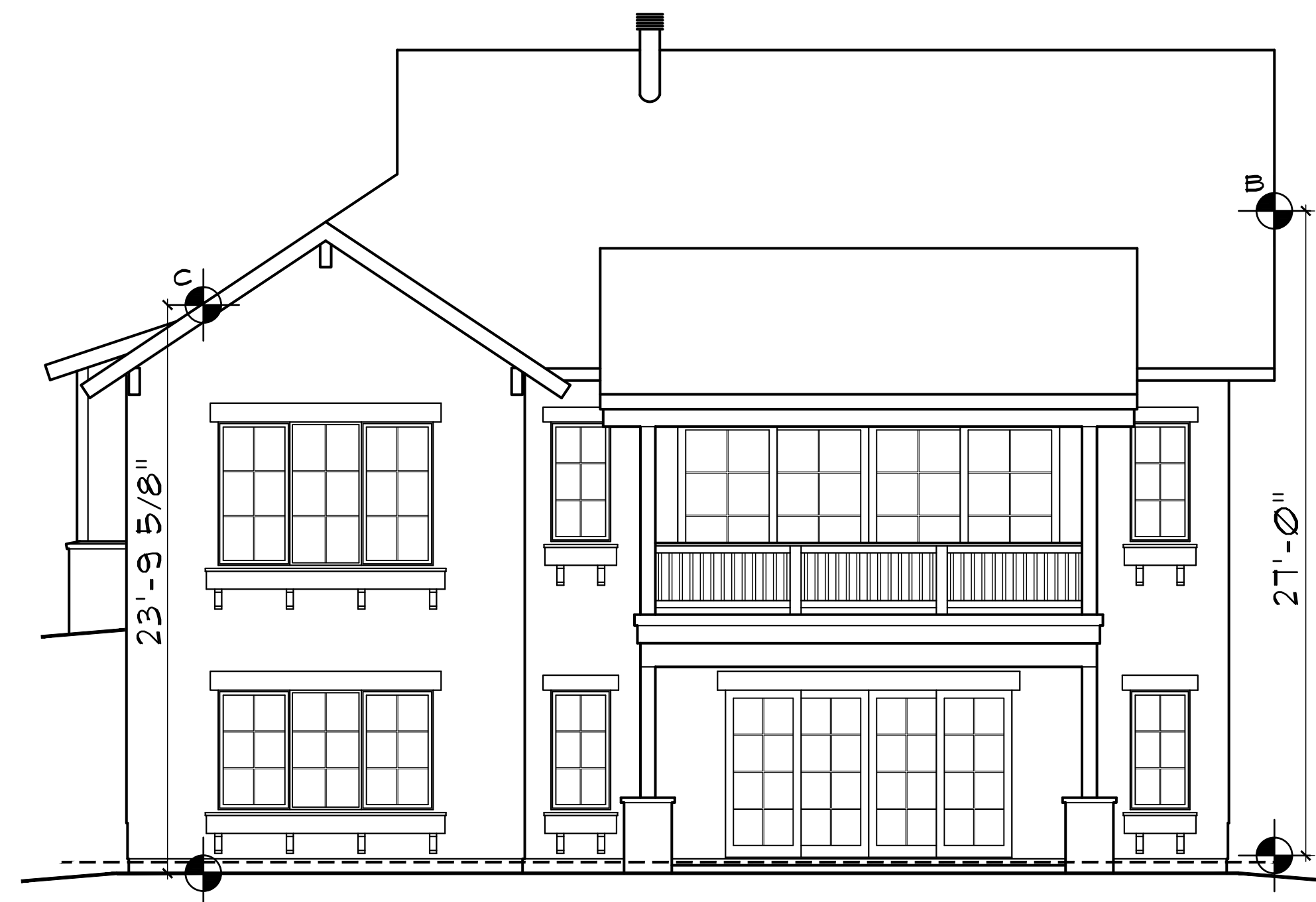
LEFT ELEVATION
1/4" = 1'-0"



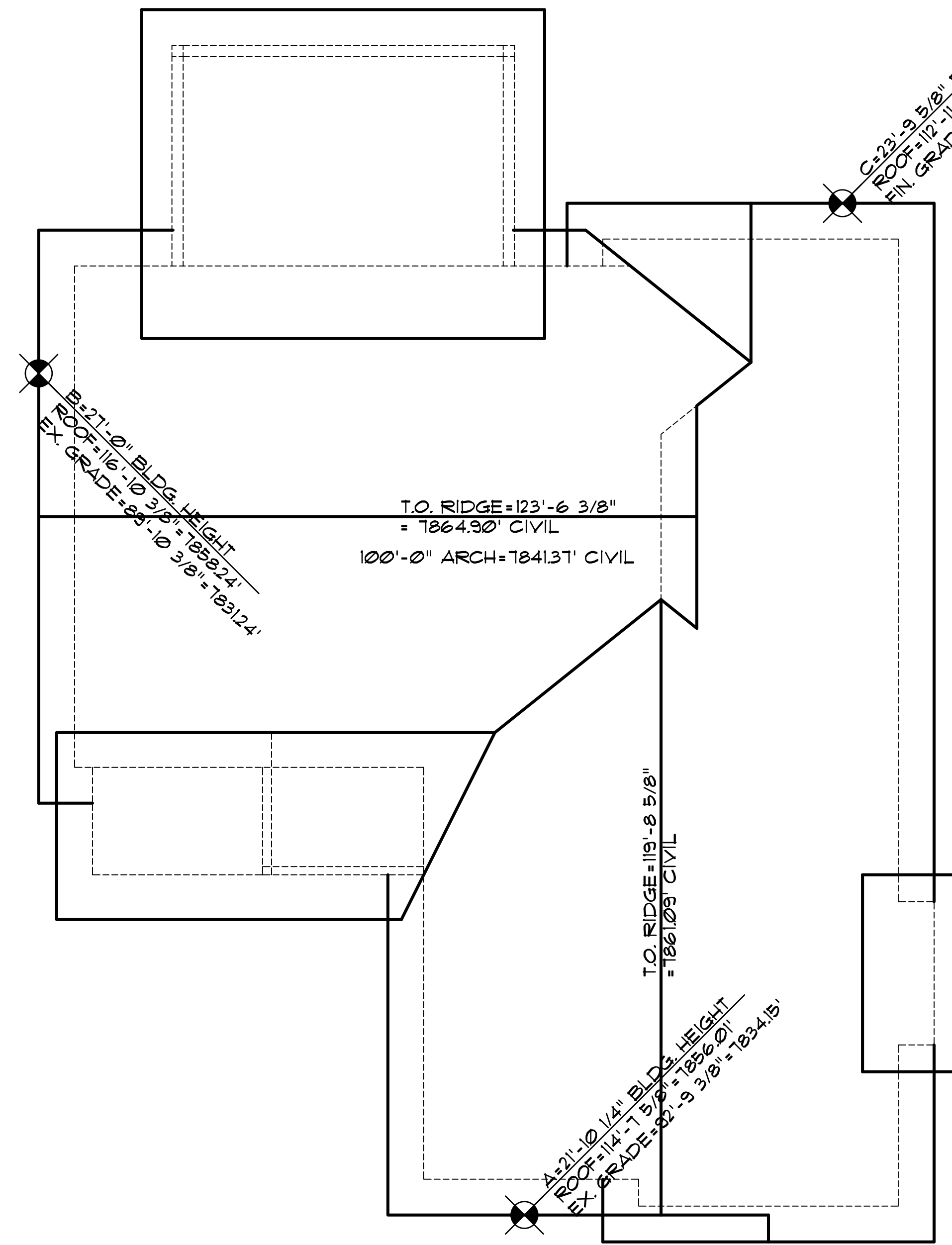
FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

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PROJECT NO: 2412-22 L25

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BH1



DISCLAIMER: All plans, renderings, specifications and marketing materials are subject to revisions and modifications at Developers sole discretion due to site specific grading conditions, availability of materials, availability of labor, manufacturer supply shortages, and Governmental Agency changes. All plans and specifications are subject to revisions and conditions of approval by the Minturn North Design Review Board, Town of Minturn City Council, Town of Minturn Design Review Board, Town of Minturn Building Permit Department and all other applicable regulatory agencies. Artist renderings have been provided for illustrative and marketing purposes only and should not be relied upon as a basis for purchasing. Color, materials and design elements are subject to refinement and revision without notice at Developers sole discretion.

MINTURN NORTH - LOT 25

DRB DESIGN REVIEW - 3D VIEWS

APRIL 22, 2025

EGGERS
ARCHITECTURE, INC

AXIS
DESIGN



RESORT CONCEPTS



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MINTURN NORTH - LOT 25

EGGERS
ARCHITECTURE, INC

AXISVU
DESIGN

DRB DESIGN REVIEW - 3D VIEWS

APRIL 22, 2025

 RESORT CONCEPTS



Terraces & Walkways
Stained Concrete



Exterior Stone
Colorado Buff



Siding
Stucco
Color: Dover Sky



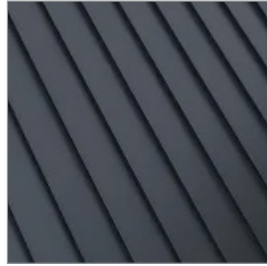
Columns, Fascia & Soffits
1"x8" – Butt Joint, Rough
Color: Custom Stain



Wood Columns per Plan
Color: Custom Stain



Roofing
Mfg: CertainTeed Belmont
Asphalt Shingles
Color: Black Granite



Roofing
Standing Seam Metal
Color: Matte Black



Garage Door
9'-0" x 18'-0" Insulated Metal
Color: Black



Windows and Doors
Mfg: Sierra Pacific
Color: Bahama Brown



Exterior Lighting
Mfg: Hinkley Mist 22" Sconce
Color: Bronze



Entry Door
Solid Wood
Color: Custom Stain



Entry Door Hardware
Ashley Norton Full Plate with
Helios Interior Lever
Color: Bronze

Minturn Planning Department
Minturn Town Center
302 Pine Street
Minturn, Colorado 81645



Minturn Planning Commission
Chair – Lynn Teach
Jeff Armistead
Michael Boyd
Amanda Mire
Eric Rippeth
Darell Wegert

Design Review Board Hearing

Final Plan Review for New Home

0071 Miles End Lane

Hearing Date:	June 11, 2025
File Name and Process:	Single-Family Residence Final Plan Review
Owner/Applicant:	Tyler & Nicole Kitson
Representative:	Taylor Hermes & Rick Hermes, Minturn North Construction Company
Legal Description:	Subdivision: MINTURN NORTH PUD Lot: 28
Address:	0071 Miles End Lane
Zoning:	Game Creek Character Area – Minturn North PUD Zone District
Staff Member:	Madison Harris, Planner I
Recommendation:	Approval

Staff Report

I. Summary of Request:

The Applicants, Nicole and Tyler Kitson, request Final Plan review of a new, four-bedroom, 3,745 (gross) square foot single-family residence located at 0071 Miles End Lane in the Game Creek Minturn North PUD Zone District. The Applicant’s representatives, Taylor Hermes and Rick Hermes of the Minturn North Construction Company, have been proactive in meeting with Town staff prior to submitting plans for a new home and have provided a relatively complete and thorough set of site, landscaping, and architectural plans.

Proposed Plans

The plans show a two-story, four-bedroom structure with a maximum building height - measured to the midpoint of the roof – of 27 feet 4 and $\frac{3}{4}$ inches measured to proposed grade which is the

most restrictive, under the maximum allowable 28-foot limit within the Game Creek Minturn North PUD Zone District.

Additionally, the massing, forms, and scale of the proposed structure, as well as proposed exterior materials, textures and detailing also appear to achieve the design objectives of Appendix B – *Design Guidelines and Standards*, Minturn Municipal Code.

Parking is adequate, with four off-street spaces, two of which are provided within the garage and two in front of the garage. The plans show the lower level with three bedrooms and entertainment lounge, and the main level has the master suite and primary living area.

According to staff’s analysis of development standards and dimensional limitations in Section III below the project appears to meet the Town’s standards.

Overall, staff believes that the Applicants and their representative have provided a complete, detailed set of plans necessary to complete a thorough final plan review.

As a reminder, the Planning Commission has the option to review the proposal as a “conceptual” plan review if the Commission feels that the plans are *not* sufficient or are in need of revisions and additional review prior to final plan approval; or the Commission may take action to approve, approve with conditions, or deny the Final Plans.

Staff is **recommending approval**.

II. Summary of Process and Code Requirements:

These plans are being presented by the Applicant as “Final Plan” level of review for a new single-family residential structure on a legally created lot within the Town of Minturn. This is a formal hearing providing the Applicant and staff the opportunity to discuss the proposal with the Planning Commission, acting as the Design Review Board, and to address the DRB’s concerns or feedback regarding suggested revisions to the project.

If the DRB feels that the plans are complete, appropriate, and meet the intent and purposes of the Minturn Municipal Code, Chapter 16, the DRB has the option to take final action to approve the plans without conditions, or to approve with specific conditions and giving the Applicant and staff clear direction on any recommended revisions, additions or updates to the plans.

No variances are required or requested at this time.

Design Review Process

Appendix ‘B’ of the Minturn Municipal Code, Section 16-21-615 - *Design Review Applications*, subsection “d” below outlines the criteria and findings necessary for DRB review and approval of all new, major development proposals:

(d) *Administrative procedure.*

- (1) *Upon receipt of a completed and proper application, the application for Design Review will be scheduled for a public hearing. The hearing will be conducted in accordance with the procedures set forth in this Chapter.*
- (2) *Criteria and findings. Before acting on a Design Review application, the Planning Commission, acting as the Design Review Board (DRB), shall consider the following factors with respect to the proposal:*
 - a. *The proposal's adherence to the Town's zoning regulations.*
 - b. *The proposal's adherence to the applicable goals and objectives of the Community Plan.*
 - c. *The proposal's adherence to the Design Standards.*
- (3) *Necessary findings. The Design Review Board shall make the following findings before approving a Design Review application:*
 - a. *That the proposal is in conformance with the Town zoning regulations.*
 - b. *That the proposal helps achieve the goals and objectives of the Community Plan.*
 - c. *That the proposal complies with the Design Standards.*

Staff suggests that the final plans for 0071 Miles End Lane meet the required findings ‘a,’ ‘b,’ and ‘c’ or subparagraph 3 – *Necessary findings*.

III. Zoning Analysis:

Zoning

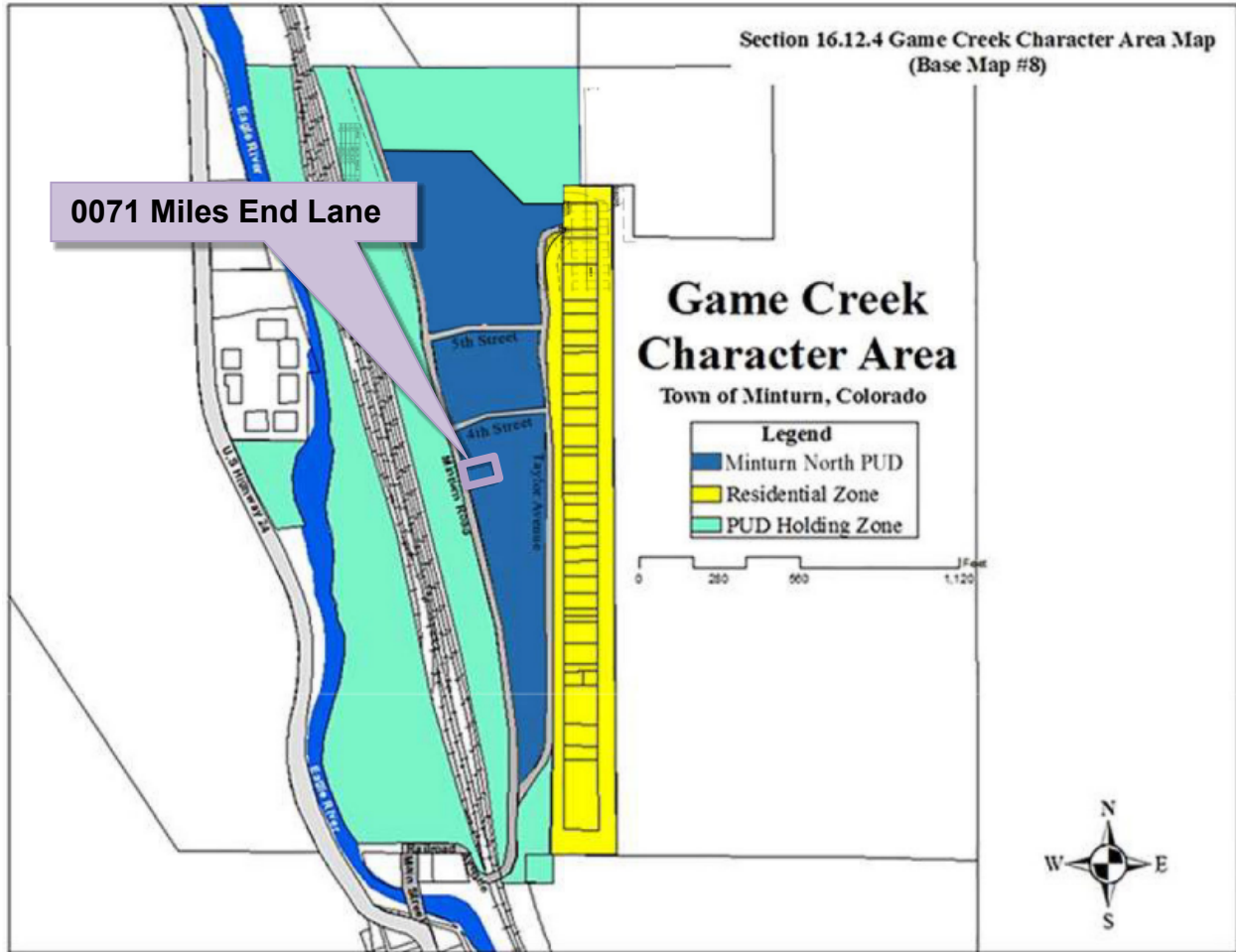
The subject property is located within the “Game Creek Character Area” Minturn North PUD Zone District Planning Area 1 (PA-1), described as follows:

“The primary intent of this Planning Area is to create a market rate single-family residential use zone surrounded by common area and open space.”

- Ordinance No. 15 – Series 2023 Minturn North PUD Guide

Rest of page left intentionally blank

Figure 1: Game Creek Character Area Zoning Map



Dimensional Limitations and Development Standards

The following table summarizes the lot, development and dimensional standards and limitations applicable to the subject property pursuant the approved Final Development Plan for the Minturn North PUD.

Regulation	Allowed/Required	Proposed/Existing
Minimum Lot Area:	6,969.6 sq. ft.	6,969.6 sq. ft. (.160 ac.)
Maximum Building Height:	28 feet	27 feet 4 ¾ inches
Minimum Front Setback:	20 feet	20 feet
Minimum Side Setback:	5 feet	5 feet
Minimum Rear Setback:	10 feet	10 feet

Maximum Lot Coverage:	50% (3,484.8 sq. ft.)	2,625 sq. ft. (37.66%) Proposed
Maximum Impervious Coverage:	60% (4,181.76 sq. ft.)	3,234 sq. ft. (46.40%) Proposed
Minimum Snow Storage Area:	5% of Lot Area 6,969.6 sq. ft. x .05 = 348.48 sq. ft.)	378 sq. ft.
Parking:	4 spaces	4 spaces

IV. Applicable Standards and Design Guideline Criteria:

Design

In addition to the development standards listed above, the following general design principles are provided for reference.

Final Site, Grading and Drainage Design

The Minturn Design Guidelines encourage designs that integrate or account for site topography and existing conditions, surrounding conditions, solar orientation, placement on lots relative to streets and natural features, snow storage and snow shed from roof structures.

Mass and Form

The following excerpt from the Design Guidelines is applicable to the proposed home design:

“c. Massing and Scale

“A simple central form with additive features shall be designed. This style creates visual interest and is appropriate for the community due to its compatibility with existing structures. Buildings and improvements should complement, rather than overpower, the adjacent natural and built environment. Homes are encouraged to be sheltering in nature, with consistent setbacks from the street with prominent porches or overhanging eaves.

“Building mass, form, length and height shall be designed to provide variety and visual interest while maintaining a scale that is similar or compatible to adjacent structures.”

-Town of Minturn Design Guidelines

Staff Response:

Staff believes that the design and scale of the proposed structure incorporates a simple central form with additive features and is complementary to adjacent residential structures and character on nearby parcels. Staff further suggests that the scale of the project is appropriate and will not

overpower surrounding natural and built environments. Proposed roof forms and pitches, materials and textures are compatible and complementary to the surrounding built and natural environments.

V. Issues and Recommended Revisions:

Issues or Required Plan Revisions

Staff has identified no issues.

VI. Staff Recommendation:

Staff suggests that the Final Plans for 0071 Miles End Lane generally **comply** with or exceed the applicable provisions and/or minimum standards of Chapter 16 and the Town of Minturn Design Standards (Appendix 'B') of the Minturn Town Code.

Staff is **recommending approval** of the plans.

May 27, 2025

Madison Harris
Town of Minturn Planner
PO Box 309
Minturn, CO 81645

Re: 71 Miles End Lane
Lot 28, Minturn North PUD
DRB submittal Review
Project No. 24-0001

Dear Madison:

We reviewed the plans entitled “Kitson Residence; 71 Miles End Lane Lot 28, Minturn North, Minturn Colorado” dated February 18, 2025, by Eggers Architecture Inc. (Plans) included in the DRB application for 71 Miles End Lane. Our review was for compliance with the engineering requirements of Section 16-21-615: Design Review applications of the Minturn Municipal Code (MMC).

MMC Section 16-21-615 Section C:

Section (C) (2) Boundary Survey:

Paragraphs a through e:

“Final Plat: Minturn North PUD” recorded March 4, 2024 (Reception No. 202402234) has been included as the Boundary Survey. This plat and associated title commitment were reviewed by the Town and the Plat is suitable as the Boundary Survey in this application.

Paragraphs f through i:

Sheet C.4 of the “Minturn North PUD Overall Grading and Drainage Plan; Construction Plan Set 5/1/24” prepared by Boundaries Unlimited Inc. is included in the application. The Town issued a Grading Permit based on the Construction Plan Set and Sheet C.4 shows the grading and utilities underway at Minturn North. This plan reflects the basis for design, and fulfills the requirements of Paragraphs f through i.

Section (C) (3) Site Plan:

- a. Sheet C1 of the Plans “Lot 28 Minturn North PUD; Site Grading and Drainage Plan” dated April 30, 2025, by Boundaries Unlimited presents the proposed site plan and fulfills Site Plan requirements.
- b. Sheet BH1 provides Building height information necessary for Planning Staff review.

VAIL VALLEY OFFICE

30 Benchmark Road, Suite 216 | PO Box 978 | Avon, CO 81620

DENVER OFFICE

9618 Brook Hill Lane | Lone Tree, CO 80124

970.949.5072 | info@inter-mtn.net



Madison Harris

Re: 71 Miles End Lane
Lot 28 Minturn North PUD
DRB submittal Review
Project No. 24-0001

Section (C) (4) Grading & Drainage Plan:

Sheet C1 of the Plans "Lot 28 Minturn North PUD; Site Grading and Drainage Plan" dated April 30, 2025, by Boundaries Unlimited presents the proposed site grading and drainage and fulfills Grading and Drainage Plan requirements.

Review by Inter-Mountain Engineering is for general conformance with Minturn Municipal Code requirements and is not a peer review. The Town and Inter-Mountain Engineering are relying on the design professional's work. Review by the Town of Minturn or Inter-Mountain Engineering in no way relieves any responsibilities of design professionals associated with the project.

Please feel free to contact us if you have additional questions.

Inter-Mountain Engineering (Town Engineer)



Jeffery M. Spanel PE

CC: Arnold Martinez, Scot Hunn





DESIGN REVIEW APPLICATION

TOWN OF MINTURN PLANNING AND ZONING DEPARTMENT
 P.O. Box 309 302 Pine Street Minturn, Colorado 81649-0309
 Phone: 970-827-5645 Fax: 970-827-5545 Email: planner1@minturn.org

Project Name:

Minturn North – Kitson Residence

Project Location

Street Address: 71 Miles End Lane

Zoning: Residential	Parcel Number(s): 2103-262-30-032
----------------------------	--

Application Request:

Design review of new single-family home

Applicant:

Name: Taylor Hermes & Rick Hermes – Minturn North Construction Company, LLC

Mailing Address: PO Box 2633 Edwards, CO 81632

Phone: 970-926-1720	Email: THermes@ResortConceptsCO.com
----------------------------	--

Property Owner:

Name: **Robert L Germain, Jr. Trust FBO Nicole Greene (Tyler & Nicole Kitson)**

Mailing Address: One PPG Place, Suite 1700 Pittsburgh, PA 15222

Phone: 239-919-6973 (Tyler)	Email: <small>tkitson@kitsonpartners.com / nicolekitson.fl@gmail.com / gallison@schneiderdowns.com</small>
------------------------------------	--

Required Information:

Lot Size: 0.160 ac	Type of Residence (Single Family, ADU, Duplex) SFH	# of Bedrooms 4	# On-site Parking Spaces 4
# of Stories: 2	Snow storage sq ft: 378 sf	Building Footprint sq ft: 2,625 sf	Total sq ft Impervious Surface: 3,234 sf

Signature:

5/5/25

Fee Paid: _____ **Date Received:** _____ **Planner:** _____

DESIGN REVIEW APPLICATION

SUBMITTAL CHECKLIST REQUIREMENTS (TO BE INCLUDED WITH APPLICATION)

Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application Fee (Non-Refundable application fee shall be collected) <ul style="list-style-type: none"> ● Design Review Board - \$200.00
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Letter of Intent -- What is the purpose of the project including; <ul style="list-style-type: none"> ● Relevant Background ● Current Status of the Site ● All Proposed Uses and Structures ● How the Proposal Differs from what already exists ● Information regarding Easements or Dedicated Tracts, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Vicinity Map -- Directional Map indicating how to get to the Property involved in the request. <ul style="list-style-type: none"> ● Zoning of Property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Site Plan showing Precise Nature of the Proposed Use –
<input checked="" type="checkbox"/>	<input type="checkbox"/>	To Scale <ul style="list-style-type: none"> ● Scaled Drawings of Proposed Design of Structure <ul style="list-style-type: none"> ○ Plan View and Sections ● Building Heights – all 4 directions N/S/E/W ● topography ● Building Location and impervious coverage ● Setbacks ● Ordinary High Water Mark determined by the Town Engineer and paid for by Applicant ● Parking Plan ● Traffic Circulation <ul style="list-style-type: none"> ○ Location and Width of Existing and Proposed Access Points ○ Location of Existing Driveways and Intersections ● Landscaped Area – Plan including existing and proposed vegetation. ● Approximate Location of Existing Wooded Areas and Rock Outcrops ● Location and Type of Existing and Proposed Easements ● Utility Easements ● Drainage Features ● Snow Storage areas expressed in square feet as a percentage of the overall site area
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Preliminary Building Plans and Elevations <ul style="list-style-type: none"> ● Indicates Dimensions ● General Appearance ● Scale ● Interior Plan for the Buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	

- | | | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Elements needed on the Site Plan |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Scale |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • North Arrow |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Date Prepared |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Lot Dimensions, Area, Entire Site Acreage |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Architecture Details – Materials Board |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Windows – Placement and Color |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Doors – Placement and Color |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Siding – Type and Color |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Roof Material – Type and Color |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Paint Color |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Boundary Survey with a stamp and signature of a licensed surveyor |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Date of survey (survey date must be within 6 months of the project application date) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Right-of-way and property lines; including bearings, distances and curve information. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Labeled ties to existing USGS benchmark. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Property boundaries to the nearest one-hundredth (.01) of a foot accuracy. Distances and bearings and a basis of bearing must be shown. Show existing pins or monuments found and their relationship to the established corner. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • All existing easements recorded with the County Clerk and Recorder. Include bearings and distances. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Spot elevations at the edge of asphalt along the street frontage of the property at five-foot intervals, and a minimum of two (2) spot elevations on either side of the lot. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Topographic conditions at two-foot contour intervals. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Existing trees or groups of trees having trunks with diameters of four (4) inches or more. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Rock outcroppings and other significant natural features. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • All utility meter locations, including any pedestals on site or in the right-of-way adjacent to the site and the exact location of existing utility sources. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Environmental hazards where applicable (i.e., rock fall, wetlands and floodplain). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Watercourse setbacks, if applicable. Show centerline and edge of stream or creek in addition to the required stream setback from the ordinary high water mark. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Grading and Drainage Plan |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Existing contours. Existing two-foot contours must be provided for all disturbed areas. Contours for undisturbed areas must be shown when drainage in those areas impacts the disturbed area. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Proposed contours. Proposed two-foot contours for all disturbed areas must be shown and must demonstrate positive drainage. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Spot elevations. Show critical spot elevations, as necessary to demonstrate positive drainage and the direction of flow. Finished grade at all building corners must be provided. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Top-of-foundation elevations. The top-of-foundation elevation must be shown on the plan and must be consistent with the foundation plan. For buildings on slopes of thirty percent (30%) or greater, elevations for stepped foundation walls must be shown. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Drainage arrows. Include drainage arrows that show how stormwater will be routed around buildings and where stormwater will exit the property. Stormwater cannot cause damage to any adjacent property. Drainage and erosion control features needed to prevent damage must be included. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Drainage facilities. Proposed drainage facilities, such as French drains or culverts, must be shown. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <ul style="list-style-type: none"> • Retaining walls. Retaining wall details are required and must include drainage details. Note top- and bottom-of-wall elevations at each location where the retaining wall steps up or down, and include the tallest point of the retaining wall. |

May 5, 2025
Town of Minturn Planning Commission
Attn: Madison Harris

RE: Kitson Residence
Lot 28 Minturn North – 0071 Miles End Lane, Minturn, CO 81645
Design Review Letter of Intent

Madison:

The attached submittal includes a single-family residence within the Minturn North neighborhood. The home is subject to the Minturn North PUD Guide, Town of Minturn Code and all pertinent documents approved by the Town Council.

Lot 28 is located at 0071 Miles End Lane on a downhill sloping undisturbed vacant lot which drops in elevation approximately 5' through the building envelope. The home has been oriented facing west, parallel to the building envelope lines to maximize the site's primary view facing Meadow Mountain. The home has been designed as a walkout residence due to the gently sloping topography. The architectural style is a mix of gable forms and low pitch shed roofs to create a composition of forms rather than a single massive structure. Overall, the structure has been nestled into the topography to balance the entry elevation with the west facing patio elevation of the home.

The home exterior is a balanced mix of stone and wood with appropriate architectural detailing which enhances the mountain vernacular. The landscaping is intentionally minimal in-keeping with the intent of the approved Minturn North PUD.

Should you have any questions or need clarifications, please don't hesitate to contact me.

Sincerely,



Taylor Hermes
512.468.3012

KITSON RESIDENCE

0071 MILES END LANE
 LOT 28, MINTURN NORTH
 MINTURN, COLORADO

DRB SUBMITTAL SET

APRIL 30, 2025



EGGERS
 ARCHITECTURE, INC.
 PO BOX 798
 KREMMLING, CO 80459
 (970) 724-3411 CELL: (970) 409-9790
 don.eggerts@eggarsarchitecture.com

R RESORT CONCEPTS
 225 MAIN STREET, SUITE C-101
 EDWARDS, COLORADO
 (970) 926-1720

KITSON
 0071 MILES END LANE
 LOT 28, MINTURN NORTH
 MINTURN, COLORADO

PROJECT NO: 2412-22 L28

OWNER'S REPRESENTATIVE

RESORT CONCEPTS
 PO BOX 5127
 EDWARDS, COLORADO 81632
 (970) 926-1720

ARCHITECT

EGGERS ARCHITECTURE, INC
 PO BOX 798
 KREMMLING, COLORADO 80459
 (970) 409-9790

STRUCTURAL ENGINEER

SUNDQUIST DESIGN GROUP
 PO BOX 249
 TARPON SPRINGS, FLORIDA 34688
 (303) 335-6034

LANDSCAPE ARCHITECT

TOMINA TOWNSEND
 PO BOX 3000
 EDWARDS, COLORADO 81632
 (303) 945-5252

CIVIL ENGINEER

BOUNDARIES UNLIMITED, INC.
 923 COOPER AVENUE, SUITE 201
 GLENWOOD SPRINGS, COLORADO 81601
 (970) 945-5252

SURVEYOR

SLAGLE SURVEY SERVICES
 PO BOX 751
 EAGLE, COLORADO 81631
 (970) 471-1499

GEOTECHNICAL ENGINEER

CTL THOMPSON, INC
 1790 AIRPORT ROAD, UNIT 2
 BRECKENRIDGE, COLORADO 80424
 (970) 453-2047

PROJECT INFORMATION:

FLOOR AREA:	FINISHED	MECH	GARAGE	TOTAL
LOWER LEVEL:	1,333 SF	148 SF		1,481 SF
MAIN LEVEL:	1,642 SF		622 SF	2,264 SF
TOTALS:	2,975 SF	148 SF	622 SF	3,745 SF

LOT AREA:	6,969.60 SF		
BUILDING COVERAGE:	2,625 SF	37.66%	50% ALLOWABLE
IMPERVIOUS COVERAGE:	3,234 SF	46.53%	60% ALLOWABLE

CODE INFORMATION:

JURISDICTION: TOWN OF MINTURN, COLORADO

CODES: 2021 INTERNATIONAL RESIDENTIAL CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 + LOCAL AMENDMENTS

DRAWING SCHEDULE

- C COVER
- C.4 FINAL PLAT MINTURN NORTH P.U.D.
- C.4 MINTURN NORTH PUD OVERALL GRADING PLAN
- C1 SITE GRADING, DRAINAGE & EROSION CONTROL PLAN
- C2 CIVIL DETAILS
- L1 LANDSCAPE PLANTING PLAN
- L2 LANDSCAPE SCHEDULES & DETAILS
- A1.1 LOWER LEVEL PLAN
- A1.2 MAIN LEVEL PLAN
- A1.3 ROOF PLAN
- A2.1 BUILDING ELEVATIONS
- A2.2 BUILDING ELEVATIONS
- BH1 BUILDING HEIGHT CALCULATIONS

ISSUED #	DATE	BY	COMMENTS	DUE
1	4-30-25			

C

DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION DUE TO SITE SPECIFIC GRADING CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.

MINTURN TOWN CERTIFICATE

This plat is approved by the town council of the Town of Minturn, County of Eagle, State of Colorado this 1 day of March, 2024, for filing with the Clerk and Recorder of the County of Eagle, Colorado, and for conveyance of the dedications shown herein; subject to the provisions that approval in no way obligates the Town of Minturn for financing or construction of improvements of said lands, streets or easements dedicated to the public, except as specifically agreed to by the Town Council of the Town of Minturn.

WITNESS MY HAND AND THE SEAL OF THE TOWN OF MINTURN TOWN COUNCIL OF THE TOWN OF MINTURN

BY: [Signature] ATTEST: [Signature] MAYOR TOWN OF MINTURN, COLORADO TOWN CLERK TOWN OF MINTURN, COLORADO

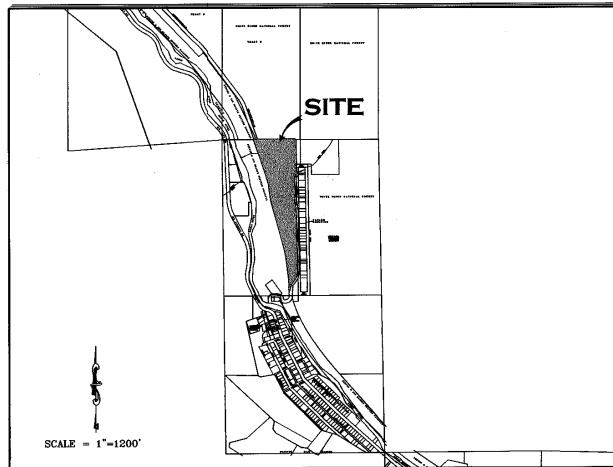
LAND USE TABLE

Table with 4 columns: LOT, USE, AREA, ADDRESS. Lists lots 1-39 and Tract B-H with their respective uses and areas.

ADDRESSES ARE FOR INFORMATIONAL PURPOSES ONLY

FINAL PLAT MINTURN NORTH P.U.D.

Town of Minturn, County of Eagle, State of Colorado



SCALE = 1"=120'

PORTION OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 81 WEST, 6th P.M.

GENERAL NOTES AND NOTES FOR CREATED EASEMENTS:

- 1) The purpose of this Final Plat is to create various lots with building envelopes, open space areas and tracts, along with easements and Right of Ways, for the purposes described herein, all pursuant to Town of Minturn Land Use Regulations and Colorado Revised Statutes concerning the subdivision of land.
2) Basis of Bearing: N27°04'04" W between monuments marking the C-W 16th Corner and the Northwest Corner Section 26, Township 5 South, Range 81 West, of the 6th P.M., shown and described herein. This bearing is based on the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018.
3) Survey Date: December, 2022 through July 2023.
4) Legal description, easements and location of boundary lines are based on Old Republic National Title Insurance Company order number no. ABC30490645-9, dated August 03, 2023, Quitclaim Deed recorded December 02, 2014 as Reception No. 201409764 along with plats and survey monumentation referenced herein (to include the non-recorded stumped Land Survey Plat performed by Eagle Valley Survey and dated August 7, 2018). In regards to items referenced in schedule B II of this title commitment referenced above: Items 1-8, 10, 21, 24, 27 and 30 were not researched by surveyor or found to not contain easement restrictions or other survey or platting related issues.
Item 9 - Pipe easement does not effect this platted parcel, falls in Northeast Quarter of the Northwest Quarter of Sec 26, T5S, R81W.
Item 11 & 12- Ordinance and Dedication regarding Taylor Avenue. Depicted hereon by eastern Boundary, recorded in Book 248 at Page 178 and Book 248 at Page 452.
Item 13 - 20 foot Sewer Easement, Does not effect this platted Parcel.
Item 14 - Conveyance to State Department of Highways, Does not Effect these platted lands.
Item 15 - Does not effect these Platted lands but references vacation of portions of Taylor Addition to the Town of Minturn.
Item 16 - effects subject parcel as it is an Annexation of property to Town of Minturn recorded in Book 333 at Page 349.
Item 17 & 18- Do not effect subject Parcel.
Item 19 - Conveyance described in Book 687 at Page 268 does not contain any easements not already defined hereon.
Item 20 - Does not effect these Platted lands. (6.k.a. subject parcel)
Item 21 - Public Service Company of Colorado Easement, Reception No. 897924, falls off subject Parcel.
Item 22 - Boundary Agreement recorded as Reception No. 200824177, called out as adjoiner hereon.
Item 25 & 26 - Parcel is subject to Mapping of Piping and Ditches in area of this subject parcel defined in document recorded as Reception No. 201703240, and 201703454 any rights or restrictions and exact location thereof not clear to surveyor from face of documents.
Item 29 - Parcel is subject to 1904-40 foot wide easement for right of way from Denver Rio Grand Railroad to Eagle County, the location of which is not determinable from face of document. This Agreement has to be have been Terminated prior to the Recording of this Plat.
5) These platted lands are subject to:
- The Minturn North P.U.D. Guide recorded as Reception no. 202402232
- The Declarations of Covenants, Conditions, Restrictions and Easements for Minturn North recorded as Reception No. 202502240
- The non-exclusive Heritage Utility Easement as shown herein on page five (5) - on, over, under, above, across and through those areas designated hereon as "Heritage Utility Easement" as defined in document recorded in the Eagle County Clerk and Recorder's Office as Reception No. 202316489.

PERTAINING TO HEREON CREATED EASEMENTS:

- 6) the owner, hereby reserves for themselves their successors and / or assigns the following non-exclusive easements created herein:
a) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated hereon as "Utility and Drainage Easement" AND those areas of each lot outside of Building Envelopes, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress thereto.
b) a non-exclusive Utility Easement as shown herein - on, over, under, above, across and through those areas designated hereon as "Utility Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress thereto.
c) non-exclusive Access, Utility, and Drainage Easement - on, over, under, above, across and through those areas designated hereon as "Access, Utility and Drainage Easement", and "Private Right of Way" to include, but not limited to, areas shown as Fourth Street, Tract D, Tract D1 and Tract G, for the purpose of i) Ingress and Egress, reasonable Pedestrian use including ingress and egress of persons including vehicle, foot, bicycle or small wheel use ii) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress thereto, and iii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

GENERAL NOTES CONTINUED:

- 6) Continued...
d) Tract D, Tract D1, and Tract G, shall be open to Public vehicular and non-vehicular access.
e) Any Easement that permits public recreation on Private Property shall benefit from the provision of C.R.S. 33-41-101 et seq.

FOLLOWING CREATED EASEMENTS DEDICATED TO TOWN OF MINTURN:

- 7) the owner, hereby dedicates to the Town of Minturn the following non-exclusive easements:
a) non-exclusive Utility, Drainage, Parking, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated hereon as "Utility, Drainage, Parking, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, and iii) reasonable local snow storage, iv) reasonable local snow storage and v) Landscaping use, and maintenance.
b) non-exclusive Utility, Drainage, Snow Storage, Landscape and Trail Easement on, over, under, above, across and through those areas designated hereon as "Utility, Drainage, Snow Storage, Landscape and Trail Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, and iii) reasonable local snow storage, iv) reasonable local snow storage, v) Landscaping use, and maintenance.
c) non-exclusive Utility, Drainage, Snow Storage and Landscape Easement on, over, under, above, across and through those areas designated hereon as "Utility, Drainage, Snow Storage & Landscape Easement" for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto, and iii) reasonable local snow storage, iv) reasonable local snow storage, v) Landscaping use, and maintenance.
d) non-exclusive Trail Easement on, over, under, above, across and through those areas designated hereon as "Trail Easement" for the purpose of Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with sidewalk or path construction, use and repair.
e) a non-exclusive trail easement on, over, across, and through those strips of land depicted and designated hereon as "Trail Easement" on sheet 5 of 5 for Pedestrian and Trail use including reasonable ingress and egress of persons to include foot, bicycle or non-motorized use along with path construction, or use. Maintenance of any path improvements within the "Trail Easement" shall be at the sole cost and expense of the Minturn North P.O.A.
f) a non-exclusive utility and drainage easement as shown herein - on, over, under, above, across and through those areas designated hereon as "Public Utility and Drainage Easement", as shown in Tract C, on sheet 2 of 5, for the purpose of i) the installation, use, repair, replacement, improvement and maintenance of utilities of any kind, including but not limited to waterlines and hydrants, sanitary sewerlines and manholes, telephone lines, cable television lines, gaslines, electrical lines, fiber optic lines, other communication lines and all related structures, together with right of ingress and egress, ii) storm drainage, drainage of water flow from other lands along with the installation, use, repair, replacement, improvement and maintenance of surface drainage structures including but not limited to swales, gutters, ditches, culverts, together with right of ingress and egress thereto.

SURVEYOR'S CERTIFICATE

I, Matthew S. Slagle, do hereby certify that I am a Professional Land Surveyor licensed to practice land surveying under the laws of the State of Colorado. That this Subdivision Plat is a true, correct and complete plat of MINTURN NORTH P.U.D., as laid out, platted, dedicated and shown hereon, that such plat was made from an accurate survey of said property and in or under my supervision and accurately shows the location and dimensions of the lots, easements and rights-of-way of said plat as the same are monumented upon the ground in compliance with applicable regulation governing the subdivision of land, that such plat is based upon the professional land surveyor's knowledge, information and belief, that it has been prepared in accordance with applicable standards of practice, and that such plat is not a guaranty or warranty, either expressed or implied.



Matthew S. Slagle PLS 34998 Professional Land Surveyor State of Colorado

- Revised 02-07-24 Edited C.O.D. MSS
Revised 12-02-23 Edited Note 6a MSS
Revised 11-14-23 minor text MSS
Revised 11-07-23 Certain Dimensions MSS
Revised 11-06-23 Tract C Easements MSS
Revised 11-03-23 Town Comments MSS
Revised 10-11-23 Town Comments MSS
Revised 10-06-23 Town Comments MSS
Revised 09-26-23 Added Note regarding Tract C MSS

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVERED SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

CERTIFICATE OF DEDICATION AND OWNERSHIP

Know all men by these presents that Minturn Crossing LLC (being sole owner in fee simple, mortgagee or holder of, of all that real property situated in the Town of Minturn, County of Eagle, State of Colorado described as follows: Parcel 1, UPRR Subdivision according to the Final Plat thereof recorded on 13th day of December, 2023 as Reception No. 202316483 in the Office of the Eagle County Clerk and Recorder, Eagle County, Colorado. Containing 13.485 acres more or less; and has caused the same to be laid out, platted and subdivided, and designated as MINTURN NORTH P.U.D. subdivision in the Town of Minturn, County of Eagle, State of Colorado, and does hereby accept responsibility for the completion of the improvements required by this plat, and does hereby accept responsibility for the completion of the improvements required by this plat and does hereby dedicate and set aside the following tracts, parcels and easements as follows:
-To the Town of Minturn Tract H (Fourth Street) and the easements described and depicted hereon in General Note 7, together with associated public improvements.
-To Utility Providers such utility easements as depicted herein in which utility infrastructure is located.

OWNER: MINTURN CROSSING LLC ADDRESS: 225 Main Street, Suite C-101 Edwards, Colorado 81632

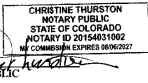
BY: RICK HERMES TITLE: MANAGER

STATE OF COLORADO) COUNTY OF EAGLE)

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS 4 DAY OF March, A.D. 2024 BY RICK HERMES AS MANAGER OF MINTURN CROSSING LLC.

MY COMMISSION EXPIRES 6 Aug 27

WITNESS MY HAND AND OFFICIAL SEAL



SUBORDINATION BY MORTGAGEE

Philip Hadley, being the holder of a promissory note secured by deed of trust recorded the 13th day of December 2023, at Reception No. 202316490, in the Office of the Clerk and Recorder of Eagle County, Colorado, hereby consents to the Subdivision of the lands set forth in this Final Plat of Minturn North P.U.D., and subordinates the lien represented by the aforesaid deed of trust to the Dedications and restrictions as shown on this final plat and relative covenants, conditions and restrictions.

MORTGAGEE Philip Hadley

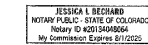
BY: [Signature] as [Signature]

STATE OF Colorado) COUNTY OF Eagle)

The foregoing Subordination by Mortgagee was acknowledged before me this 20 day of February, 2024, by Philip Hadley as Individual

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: [Signature] NOTARY PUBLIC



CERTIFICATE OF TAXES PAID

I, the undersigned, do hereby certify that the entire amount of taxes and assessments due and payable as of 1 March, 2024, upon all parcels of real estate described on this Plat are paid in full.

DATED THIS 1st OF March, A.D., 2024 ROSEBUD TREASURER OF EAGLE COUNTY

TITLE CERTIFICATE

LAND TITLE [Signature] does hereby certify that it has examined the title to all lands shown upon this plat and that title to such is vested in MINTURN CROSSING LLC free and clear of all liens, taxes, and encumbrances, except those of trust recorded 1/13/23, 202316490

DATED THIS 20th DAY OF February, A.D., 2024

AGENT: [Signature] CLERK AND RECORDER'S CERTIFICATE # 5398

This Plat was filed for record in the Office of the Clerk and Recorder at 1:59 p.m. on this 20th day of March, A.D. 2024

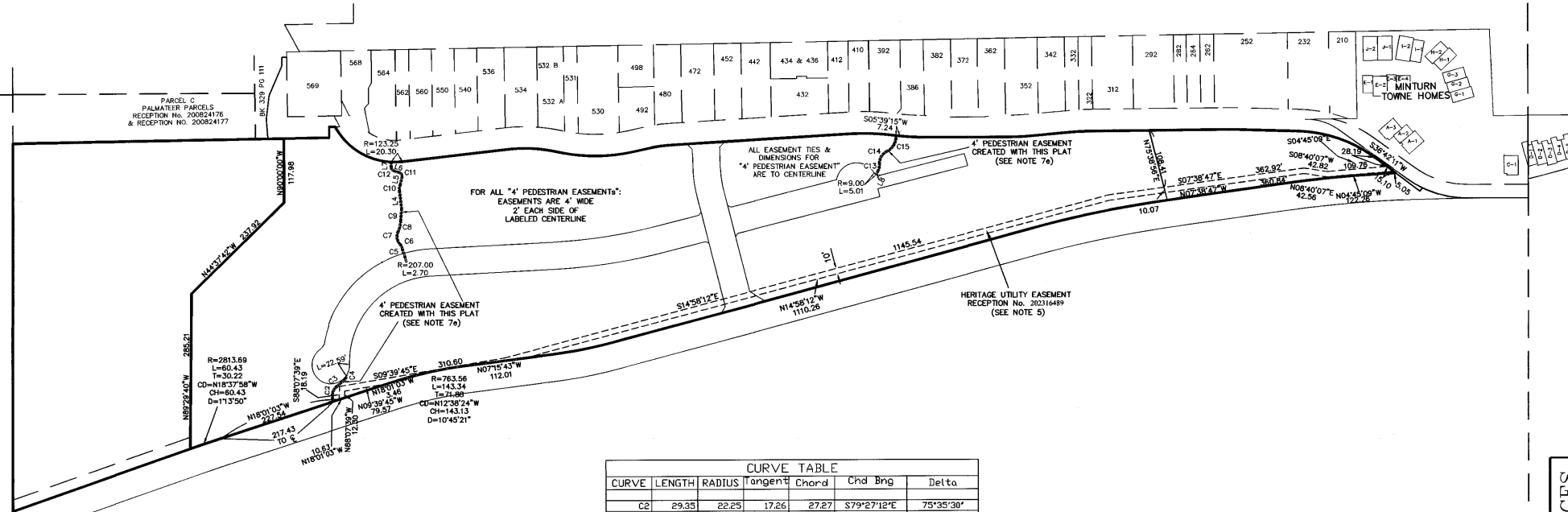
BY: [Signature] CLERK AND RECORDER DEPUTY

SLAGLE SURVEY SERVICES 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631 970.471.1499 Office matthew@slaglesurvey.com www.SlagleSurvey.com FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado

Eagle County, CO Regina O'Brien Pgs: 5 REC: \$55.00 DOC: \$0.00 20240223 03/04/2024 12:59:18 PM

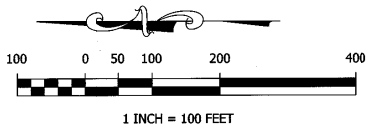
FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado
 SHEET 5 OF 5

ADDITIONAL EASEMENT DETAIL SHEET



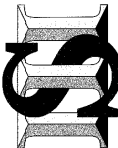
LINE TABLE		
LINE	LENGTH	BEARING
L4	32.13	N63°15'49"E
L5	14.91	S77°04'30"E
L6	11.48	N12°26'21"E
L7	9.83	S89°36'46"E
L8	7.28	N62°43'18"W

CURVE TABLE						
CURVE	LENGTH	RADIUS	Tangent	Chord	Chd Bng	Delta
C2	29.35	22.25	17.26	27.27	S79°27'12"E	75°35'30"
C3	18.66	276.62	9.33	18.65	S39°43'32"E	3°51'51"
C4	9.01	8.52	4.97	8.59	S68°04'17"E	60°33'21"
C5	7.90	333.24	3.95	7.90	S79°46'25"W	12°13'31"
C6	11.08	18.95	5.70	10.93	N63°41'55"E	33°30'33"
C7	24.01	20.01	13.69	22.60	S81°19'10"W	68°45'04"
C8	20.65	49.15	10.48	20.50	S76°20'24"E	24°04'13"
C9	22.78	236.37	11.40	22.77	S85°36'54"E	5°31'15"
C10	12.77	20.27	6.60	12.56	S83°06'39"E	36°05'40"
C11	9.29	7.31	5.39	8.68	N57°19'53"E	72°46'53"
C12	8.09	6.45	4.68	7.57	N54°28'07"E	71°50'14"
C13	15.45	30.72	7.89	15.28	S77°07'28"E	28°48'21"
C14	27.14	23.79	15.26	25.69	S58°50'20"E	65°22'36"
C15	35.79	30.20	20.33	33.73	S60°06'18"E	67°54'31"



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado

<p>SLAGLE SURVEY SERVICES 800 Castle Drive - P.O. Box 157, Eagle, Colorado 81631 Office: matthew@slaglesurvey.com www.SlagleSurvey.com</p>	<p style="text-align: center;">FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado</p>
DRAWN BY: MGS DATE: 08-13-2023	DRAWING NUMBER: 22055 FPL.dwg SHEET: 5 OF 5

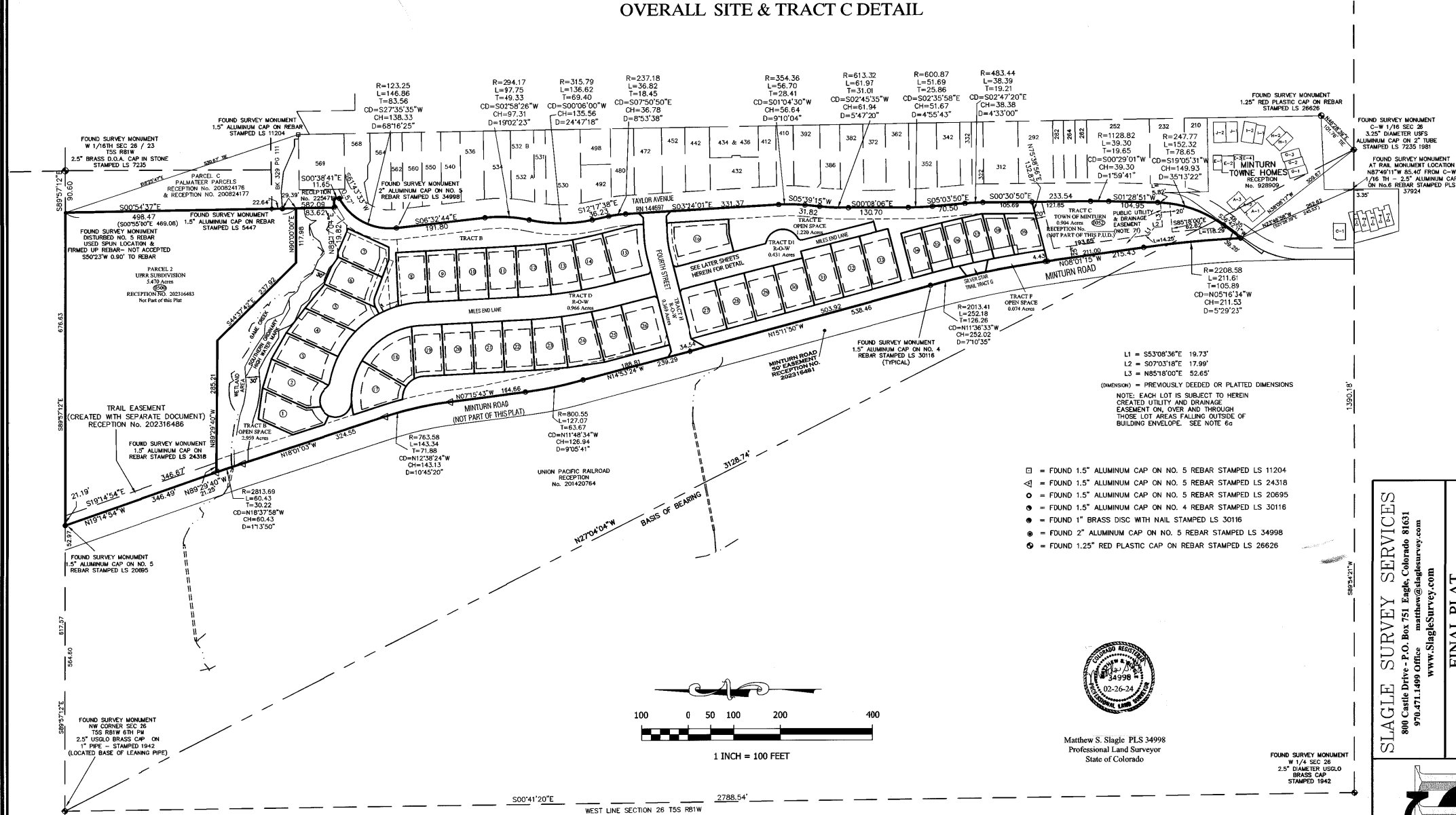


NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect, in no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

202402234

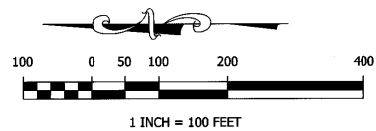
FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado
 SHEET 2 OF 5

OVERALL SITE & TRACT C DETAIL



L1 = S53°08'36\"/>
 L2 = S07°03'18\"/>
 L3 = N85°18'00\"/>
 (DIMENSION) = PREVIOUSLY DEEDED OR PLATTED DIMENSIONS
 NOTE: EACH LOT IS SUBJECT TO HEREIN
 CREATED UTILITY AND DRAINAGE
 EASEMENT ON, OVER AND THROUGH
 THOSE LOT AREAS FALLING OUTSIDE OF
 BUILDING ENVELOPE. SEE NOTE 6g

- = FOUND 1.5\"/>
- △ = FOUND 1.5\"/>
- = FOUND 1.5\"/>
- = FOUND 1.5\"/>
- ⊙ = FOUND 1\"/>
- ⊙ = FOUND 2\"/>
- ⊙ = FOUND 1.25\"/>

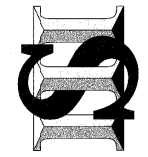


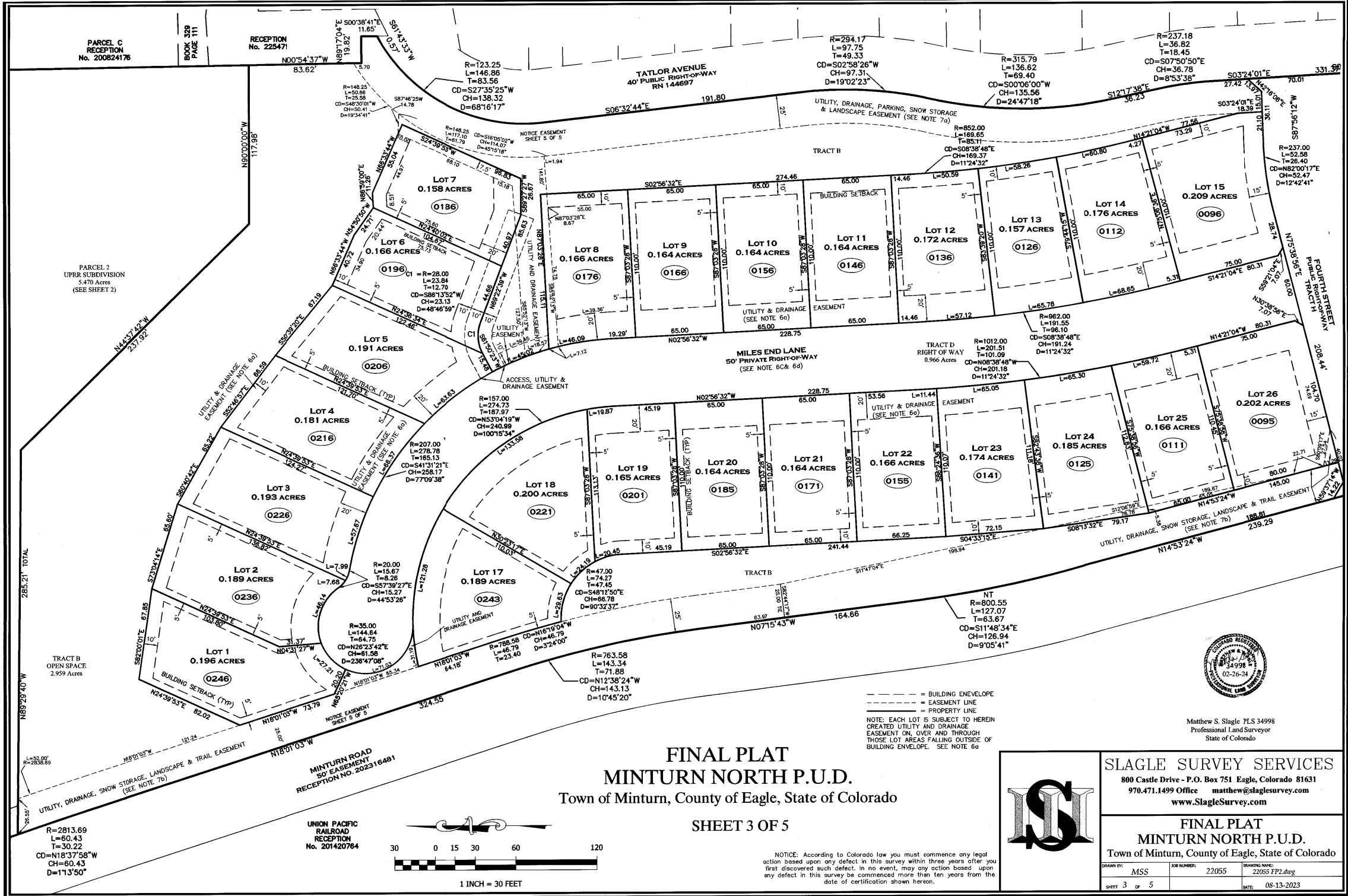
Matthew S. Slagie PLS 34998
 Professional Land Surveyor
 State of Colorado

SLAGIE SURVEY SERVICES	
800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631	
970.471.1199 Office mathew@slagiesurvey.com	
www.SlagieSurvey.com	
FINAL PLAT	
MINTURN NORTH P.U.D.	
Town of Minturn, County of Eagle, State of Colorado	
FORM NO. MISS	DATE: 06-15-2023
22055	22055 FPL.dwg
SHEET 2 OF 5	

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

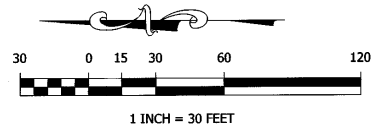
202402234





**FINAL PLAT
MINTURN NORTH P.U.D.**
Town of Minturn, County of Eagle, State of Colorado

SHEET 3 OF 5




--- BUILDING ENVELOPE
 - - - EASEMENT LINE
 = PROPERTY LINE

NOTE: EACH LOT IS SUBJECT TO HEREIN CREATED UTILITY AND DRAINAGE EASEMENT ON, OVER AND THROUGH THOSE LOT AREAS FALLING OUTSIDE OF BUILDING ENVELOPE. SEE NOTE 6a



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado

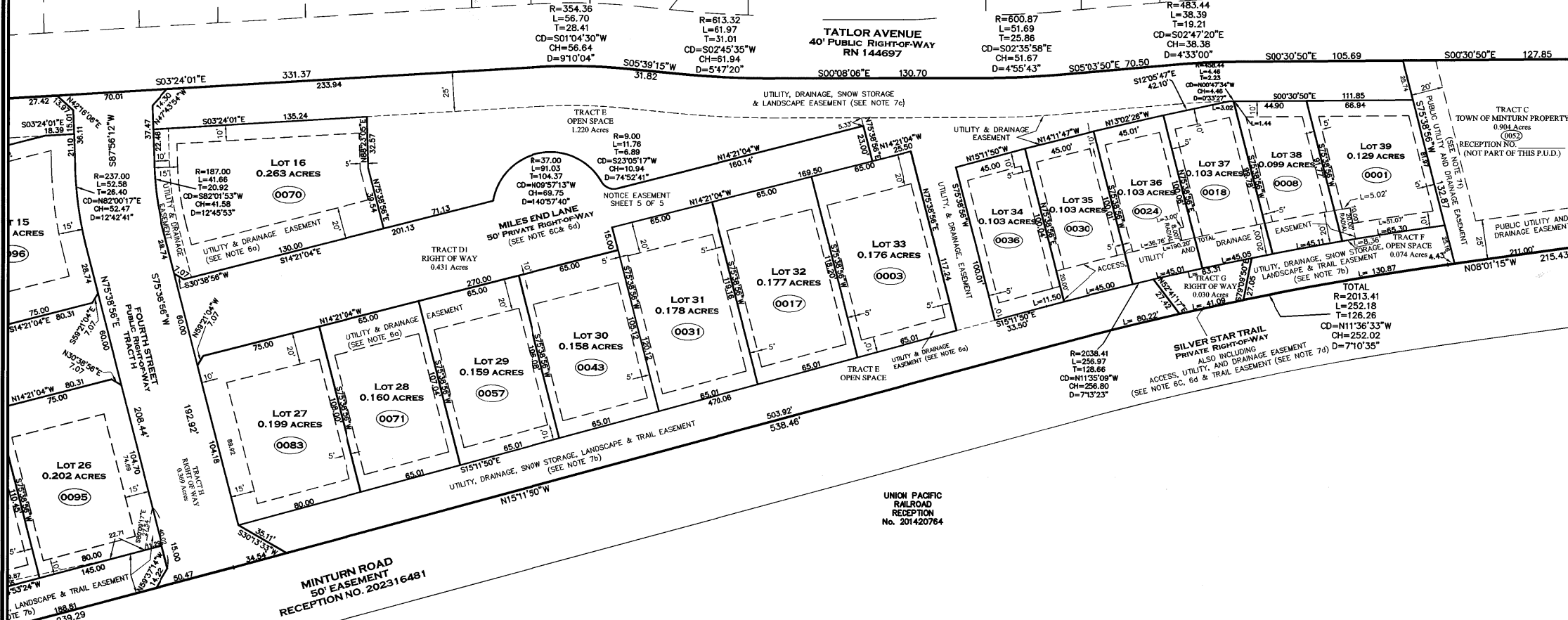
		
SLAGLE SURVEY SERVICES 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631 970.471.1499 Office matthew@slaglesurvey.com www.SlagleSurvey.com		
FINAL PLAT MINTURN NORTH P.U.D. Town of Minturn, County of Eagle, State of Colorado		
DRAWN BY: MSS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 3 of 5	DATE: 08-13-2023	

UNION PACIFIC RAILROAD RECEPTION No. 201420764

R=2813.69
 L=60.43
 T=30.22
 CD=N18°37'58"W
 CH=60.43
 D=11°35'0"

202402234

FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado
SHEET 4 OF 5

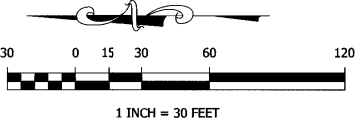


--- = BUILDING ENVELOPE
 - - - = EASEMENT LINE
 ——— = PROPERTY LINE

NOTICE: EACH LOT IS SUBJECT TO HEREIN CREATED UTILITY AND DRAINAGE EASEMENT ON, OVER AND THROUGH THOSE LOT AREAS FALLING OUTSIDE OF BUILDING ENVELOPE. SEE NOTE 6a



Matthew S. Slagle P.L.S. 34998
 Professional Land Surveyor
 State of Colorado



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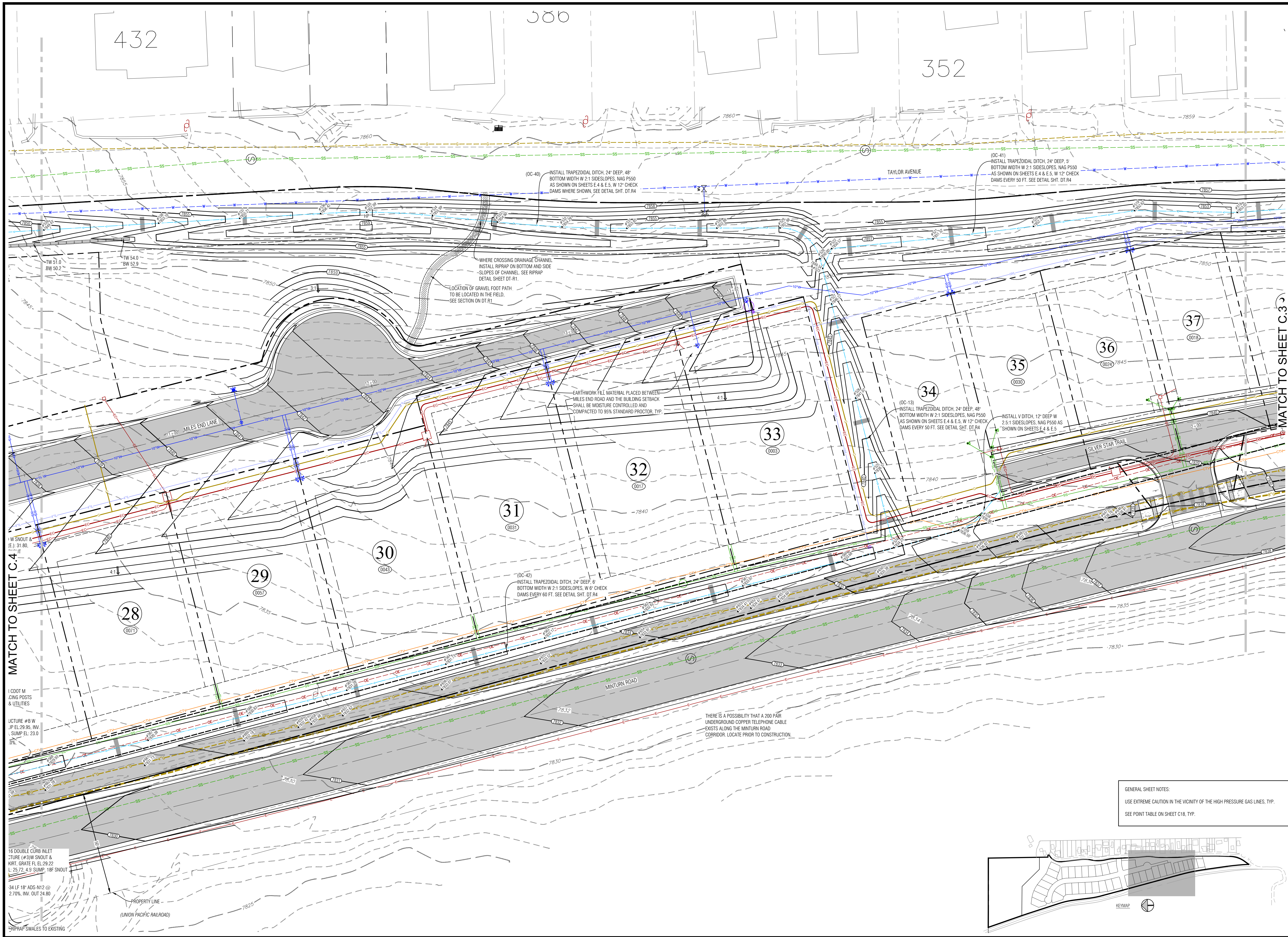


SLAGLE SURVEY SERVICES
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FINAL PLAT
MINTURN NORTH P.U.D.
 Town of Minturn, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 22055	DRAWING NAME: 22055 FP2.dwg
SHEET 4 OF 5	DATE: 08-13-2023	

202402234



MATCH TO SHEET C.4

MATCH TO SHEET C.3

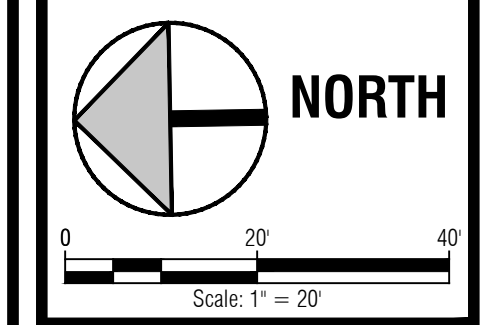
PROJECTS/2022/2026-Minturn North/22036-C-Grading.dwg 5/15/2024 10:51 AM

Boundaries Unlimited Inc.
Civil Engineering
Surveying
& Beyond
923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If "Yes", SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**



Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720



TOWN OF MINTURN, COLORADO

Minturn North P.U.D.
Overall Grading and Drainage Plan
Construction Plan Set 5/1/24

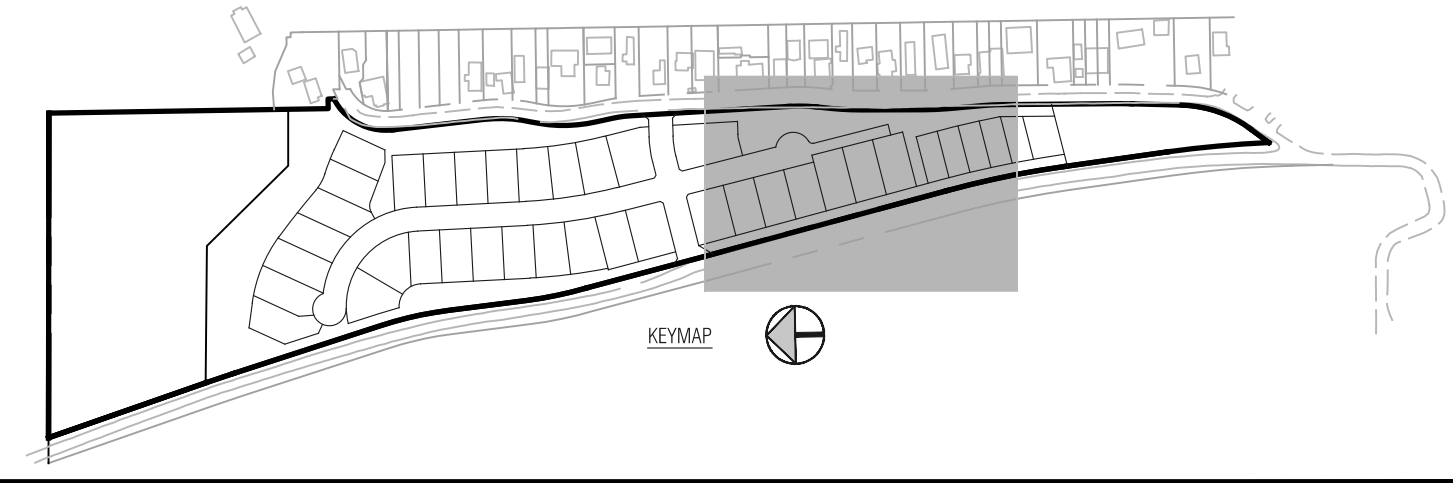
No.	Date	Revision
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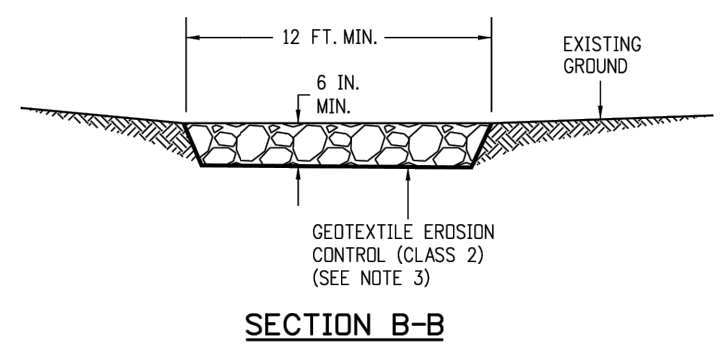
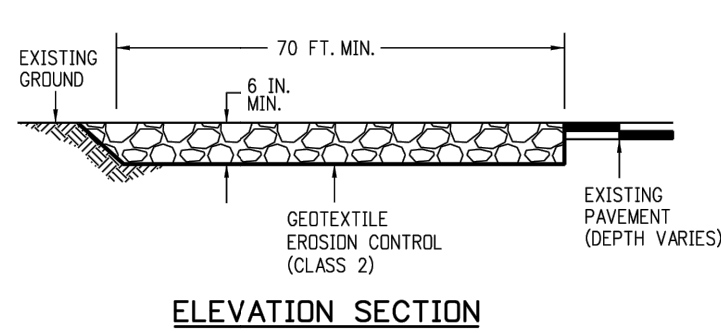
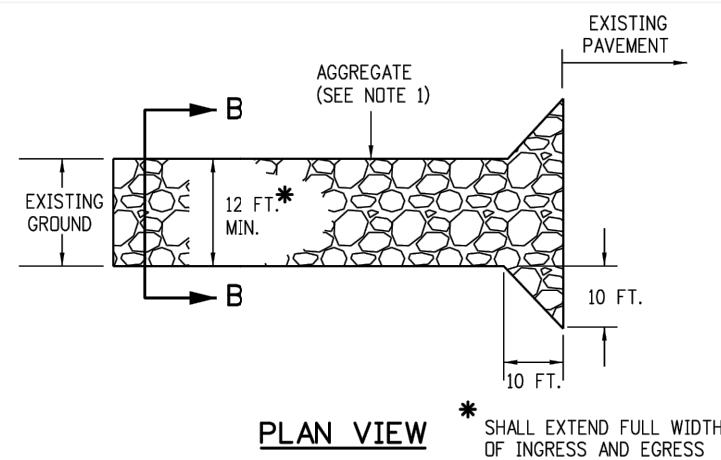
PROJECT NO. 22036
Designer: PAH
Checker: BUI
Date: 12/26/22

Sheet **C.4**

File Name: 22036 c-grading.dwg

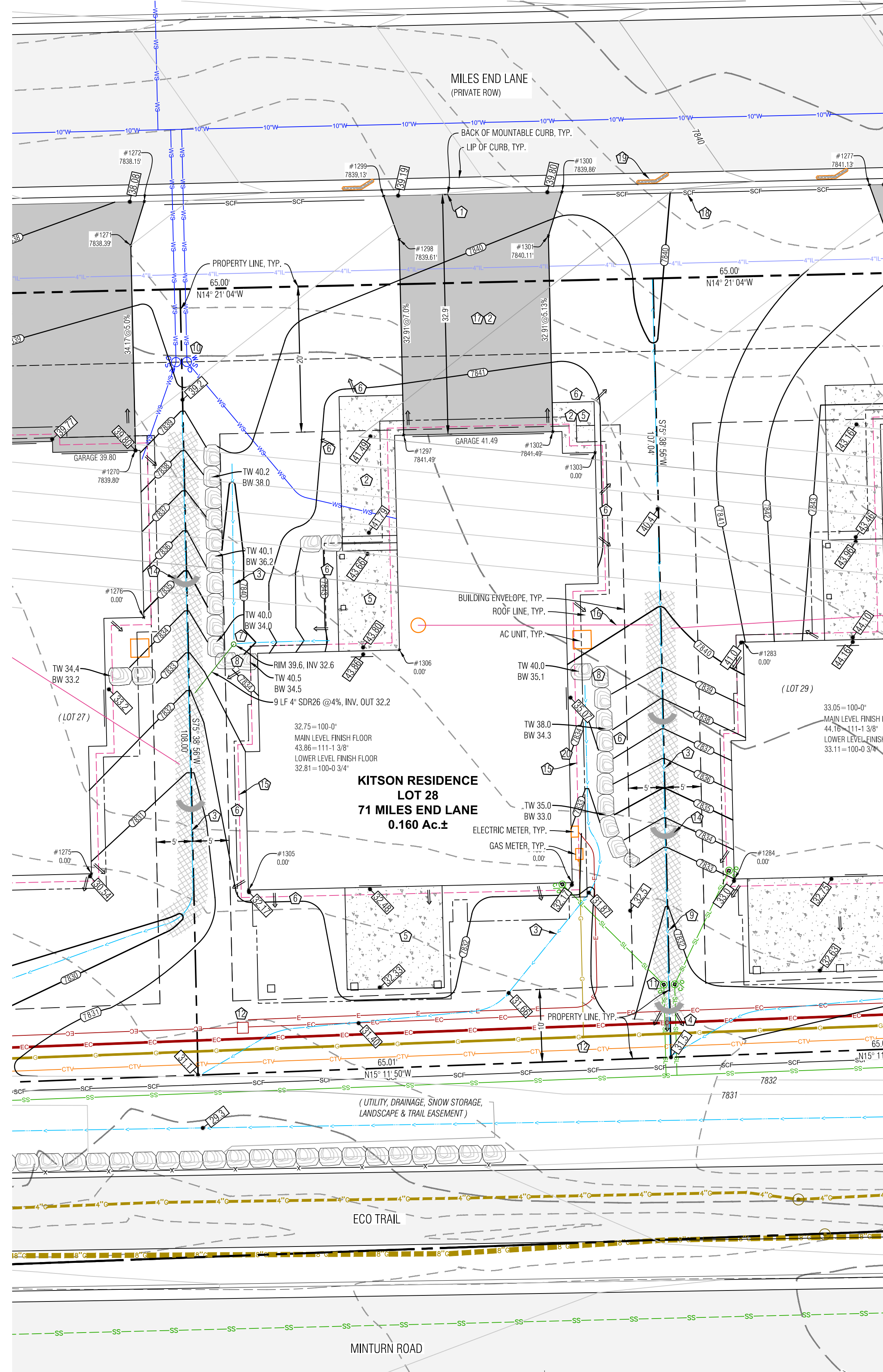
GENERAL SHEET NOTES:
USE EXTREME CAUTION IN THE VICINITY OF THE HIGH PRESSURE GAS LINES, TYP.
SEE POINT TABLE ON SHEET C18, TYP.





- NOTES:
1. AGGREGATE SHALL CONFORM TO SUBSECTION 208.02 (C).
 2. THE CONTRACTOR SHALL PROTECT CURB AND GUTTER THAT CROSSES THE ENTRANCE FROM DAMAGE WHILE NOT BLOCKING FLOW OF WATER THRU STRUCTURE. PROTECTION OF THE CURB AND GUTTER SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
 3. GEOTEXTILE SHALL CONFORM TO SUBSECTION 712.08.
 4. ALL MATERIALS AND LABOR TO COMPLETE THE VEHICLE TRACKING PAD SHALL BE INCLUDED IN THE COST OF WORK AND NOT PAID FOR SEPARATELY.
 5. THE PAY ITEM NUMBER FOR VEHICLE TRACKING PAD (EACH) IS 208-00070.

VEHICLE TRACKING PAD



LEGEND

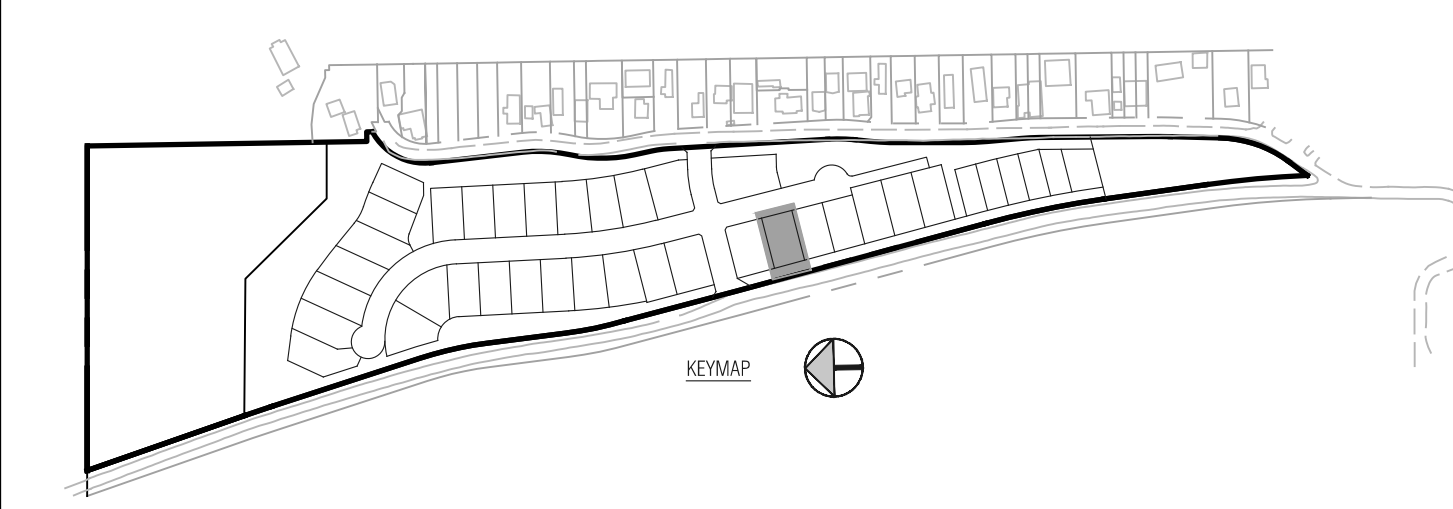
- TW TOP OF WALL
- BW BOTTOM OF WALL
- GB GRADE BREAK
- EX EXISTING
- LP LOW POINT
- HP HIGH POINT
- PROPOSED SPOT ELEVATION
- DRAINAGE SWALE
- FLOW ARROW
- SEDIMENT CONTROL FENCE
- PROPOSED MAJOR/MINOR CONTOUR
- EXISTING MAJOR/MINOR CONTOUR
- EROSION LOGS
- ASPHALT DRIVEWAY & AUTOCOURT
- NORTH AMERICAN GREEN SC-250N EROSION CONTROL FABRIC, OR RIBRAP ALTERNATIVE
- FLAGNOTE
- EX CURB STOP
- POSSIBLE ELECTRIC SERVICE
- POSSIBLE GAS SERVICE
- POSSIBLE WATER SERVICE
- POSSIBLE SEWER SERVICE
- FOUNDATION DRAIN
- DOWNSPOUT & STORM DRAIN WITH SEE
- BOULDER WALL

Point Table

Point #	Desc.	Elev.	North	East
1297	Driveway	7841.49	3560.46	5513.29
1298	Driveway	7839.61	3567.13	5539.36
1299	Driveway	7839.13	3570.55	5544.68
1300	Driveway	7839.86	3546.82	5550.75
1301	Driveway	7840.11	3547.27	5544.44
1302	Driveway	7841.49	3540.60	5518.37
1303	House Corner	0.00	3534.28	5516.89
1304	House Corner	0.00	3524.02	5458.62
1305	House Corner	0.00	3567.13	5447.59
1306	House Corner	0.00	3554.36	5484.40

- NOTES:**
- 1) BASIS OF ELEVATION: NAVD88 BASED ON THE ORIGINAL TOPOGRAPHIC MAP OF MINTURN NORTH PREPARED BY GORE RANGE SURVEYING, LLC, JOB NO. 19-1203, DATED 4/1/21. NO BENCHMARK WAS NOTED ON THE BASE SURVEY.
 - 2) THE BOUNDARY DIMENSIONS, EASEMENTS AND RIGHTS OF WAY SHOWN HEREON ARE BASED ON THE FINAL PLAT OF MINTURN NORTH PUD, AND SURVEY CONTROL MONUMENTS FOUND AT THE TIME OF THE SURVEY AND SHOWN ON THE SURVEY REFERENCED ABOVE.
 - 3) SEE ADDITIONAL SITE NOTES & DETAILS ON SHEET C2.
 - 4) EXISTING CONTOUR INTERVAL IS 1 FT., PROPOSED CONTOUR INTERVAL IS 1 FT.
 - 5) LOT AREA: 6,989 SF±
DISTURBANCE AREA: 6,989 SF±
 - 6) THIS (CIVIL) PLAN SET IS INTENDED TO BE PLOTTED IN COLOR. FAILURE TO DO SO MAY RESULT IN MISSING DATA & INFORMATION CRITICAL TO THE PROJECT.
 - 7) CONSTRUCTION ACCESS TO BE LIMITED TO THE AREA WITHIN THE VEHICLE TRACKING PAD. SILT SOCKS TO BE INSTALLED EVERY 30 FEET WITHIN THE CURB LINE ALONG THE LOT FRONTAGE. DIRT TRACKED ONTO PUBLIC ROW TO BE CLEANED AFTER ANY MAJOR STORM EVENT OR WITHIN THREE WORKING DAYS.

- FLAGNOTES:**
- 1) MATCH TO BACK OF EXISTING CURB.
 - 2) PROPOSED ASPHALT DRIVEWAY, AUTO-COURT AND CONCRETE WALKWAYS, STRUCTURAL FILL UNDER THE BUILDING TO FOLLOW THE DIRECTION OF THE GEOTECH REPORT, ALL EARTHWORK CONSTRUCTION TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.
 - 3) PROVIDE DRAINAGE SWALE AS SHOWN, WITH NORTH AMERICAN GREEN SC250 EROSION FABRIC OR RIBRAP WHERE SLOPE EXCEEDS 5%. SEE DETAIL.
 - 4) WHERE PROPOSED SWALE DAYLIGHTS WITH NATURAL GROUND, FAN OUT DRAINAGE SWALE TO EVENLY DISSIPATE DRAINAGE, TYP.
 - 5) SLOPE PATIOS, DECKS AND WALKS AT 2% MIN. AWAY FROM THE STRUCTURE.
 - 6) GRADE AROUND THE PERIMETER OF BUILDING AS NECESSARY 10% FOR 5-FEET MIN. (10 FT. WHERE POSSIBLE) IN UNPAVED AREAS TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION. IT WILL BE IMPORTANT TO CONSTRUCT AND DIRECT SURFACE DRAINAGE AWAY FROM BUILDING, WALKS AND WALLS TO EITHER THE AUTOCOURT, THE OUTLET SWALE, OR DOWNWARD SLOPING NATURAL GRADE. VERIFY DRAINAGE AND SWALE INTEGRITY ON A REGULAR BASIS.
 - 7) INSTALL 6" NYLOPLAST DRAIN BASIN WITH DOME GRATE. SEE DETAIL ON SHEET C2. SHAPE & DRAIN ALL SURROUNDING AREA TO LOW POINT WHICH IS THE INLET. NO DRAINAGE ALLOWED TO BOULDER WALL. INSTALL HEAT TAPE IN DRAIN BASIN AND OUTLET PIPE.
 - 8) INSTALL BOULDER WALL FOR LANDSCAPE AREAS PER THE DETAIL ON SHEET C2. WALL DRAIN LINES NOT SHOWN.
 - 9) MAINTAIN LOTLINE DRAINAGE SWALE TO WEST PROPERTY LINE. DO NOT ALLOW DRAINAGE THE ABILITY TO SWEEP OVER INTO LOCALIZED SWALE.
 - 10) LOCATE EXISTING CURB STOP, CONFIRM LOCATION AND CONNECTION WITH THE WATER & SANITATION DISTRICT, CONNECT AND EXTEND NEW WATER SERVICE TO MECHANICAL ROOM. WATER SERVICE TO BE 1-1/2" CONTINUOUS COPPER LINE FROM THE CURB STOP TO THE MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS.
 - 11) APPROXIMATE LOCATION OF SEWER SERVICE STUB. CONFIRM INVERT PRIOR TO CONSTRUCTION FOR ABILITY TO SERVICE HOUSE BY GRAVITY, OR WHETHER A PUMP MAY BE REQUIRED. CONNECT AND EXTEND NEW SEWER SERVICE TO MECHANICAL ROOM. MAINTAIN COVER OVER NEW SERVICE PER DISTRICT REGULATIONS. INSTALL CLEANOUTS AT HOUSE EXTERIOR AND ALL BEND LOCATIONS.
 - 12) LOCATE, CONNECT TO, AND EXTEND GAS, ELECTRIC, AND COMMUNICATION SERVICES TO METER CABINET AND GAS METER LOCATION. MAINTAIN COVER & CLEARANCES BETWEEN OVER NEW SERVICES PER UTILITY REGULATIONS.
 - 13) EROSION LOGS PER DETAIL ON SHEET C2.
 - 14) FOUNDATION DRAIN, TYP., INSTALL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. DRAIN @ 0.5% MIN. TO DAYLIGHT, SEE DETAIL ON SHT. C2.
 - 15) EXTEND THE FOUNDATION DRAIN FROM SUMP PUMP IN HOUSE TO DAYLIGHT WITH SOLID PIPE. COVER WITH A RODENT SCREEN AT END.
 - 16) INSTALL VEHICLE TRACKING PAD (DETAIL ON THIS SHEET) AT LOCATION OF DRIVEWAY. TRACKING PAD TO BE REMOVED PRIOR TO FINAL DRIVEWAY SUBGRADE PREPARATION AND PAVING.
 - 17) INSTALL SILT FENCE PER DETAIL ON SHEET C2.
 - 18) INSTALL SILT SOCKS WITHIN CURB LINE, EVERY 30 FT. ±.
 - 19) DO NOT ALLOW ROOF DRAINAGE TO FALL INSIDE OF WALL AREA. GUTTER ROOF LINES AND INSTALL DOWNSPOUTS. EXTEND DOWNSPOUT TO DAYLIGHT IN THE NEAREST SWALE FLOWLINE, OR TO A POINT AT LEAST 10-FEET AWAY FROM THE BUILDING FOUNDATION AT A LOCATION WHERE RUNOFF WILL NOT POND.



Boundaries Unlimited Inc.
Civil Engineering
Surveying
& Beyond

923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(T) 970.945.5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If "Yes", SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

NOT FOR CONSTRUCTION

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

NORTH

Scale: 1" = 10'

811

Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

Lot 28, Minturn North P.U.D.

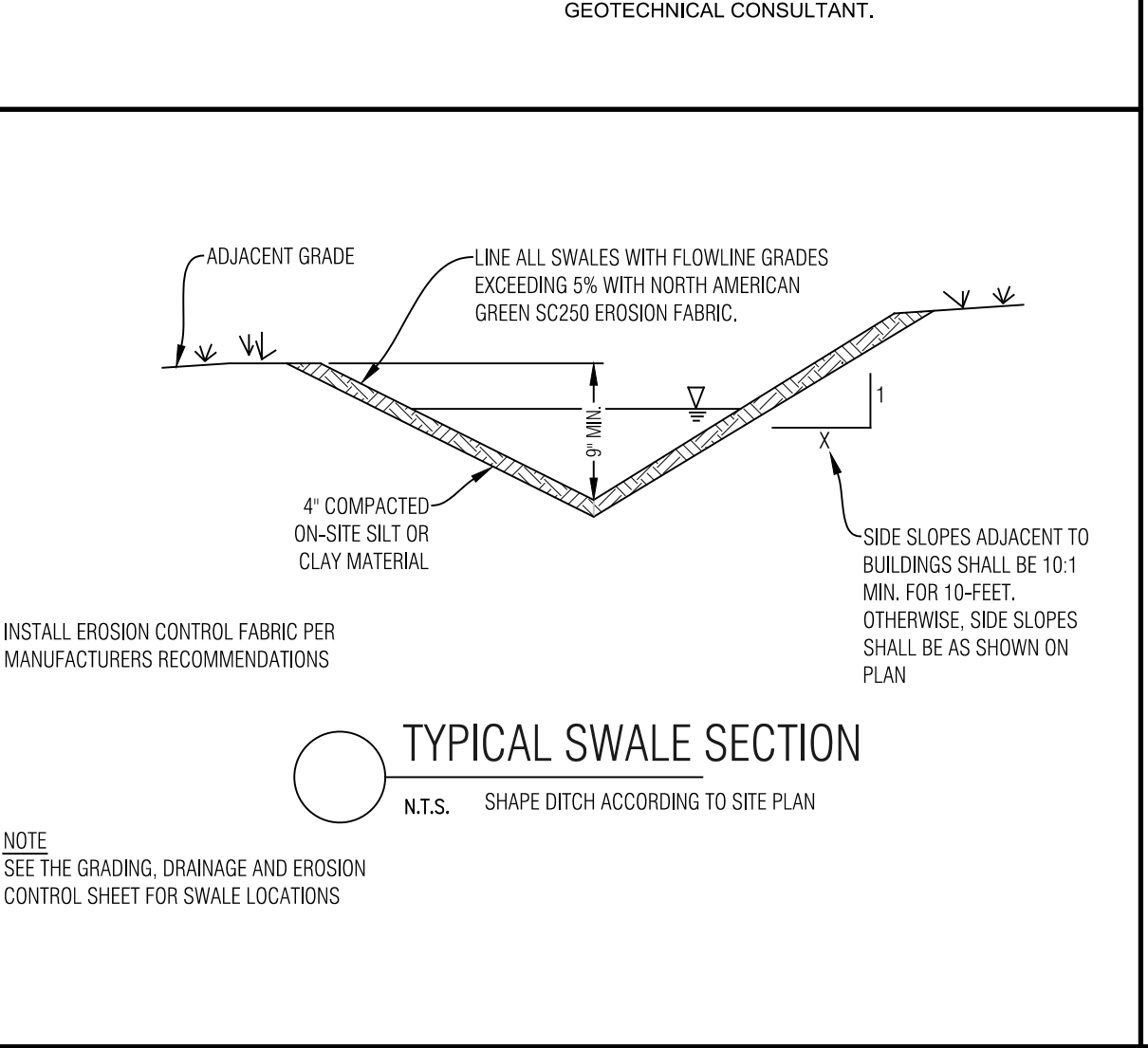
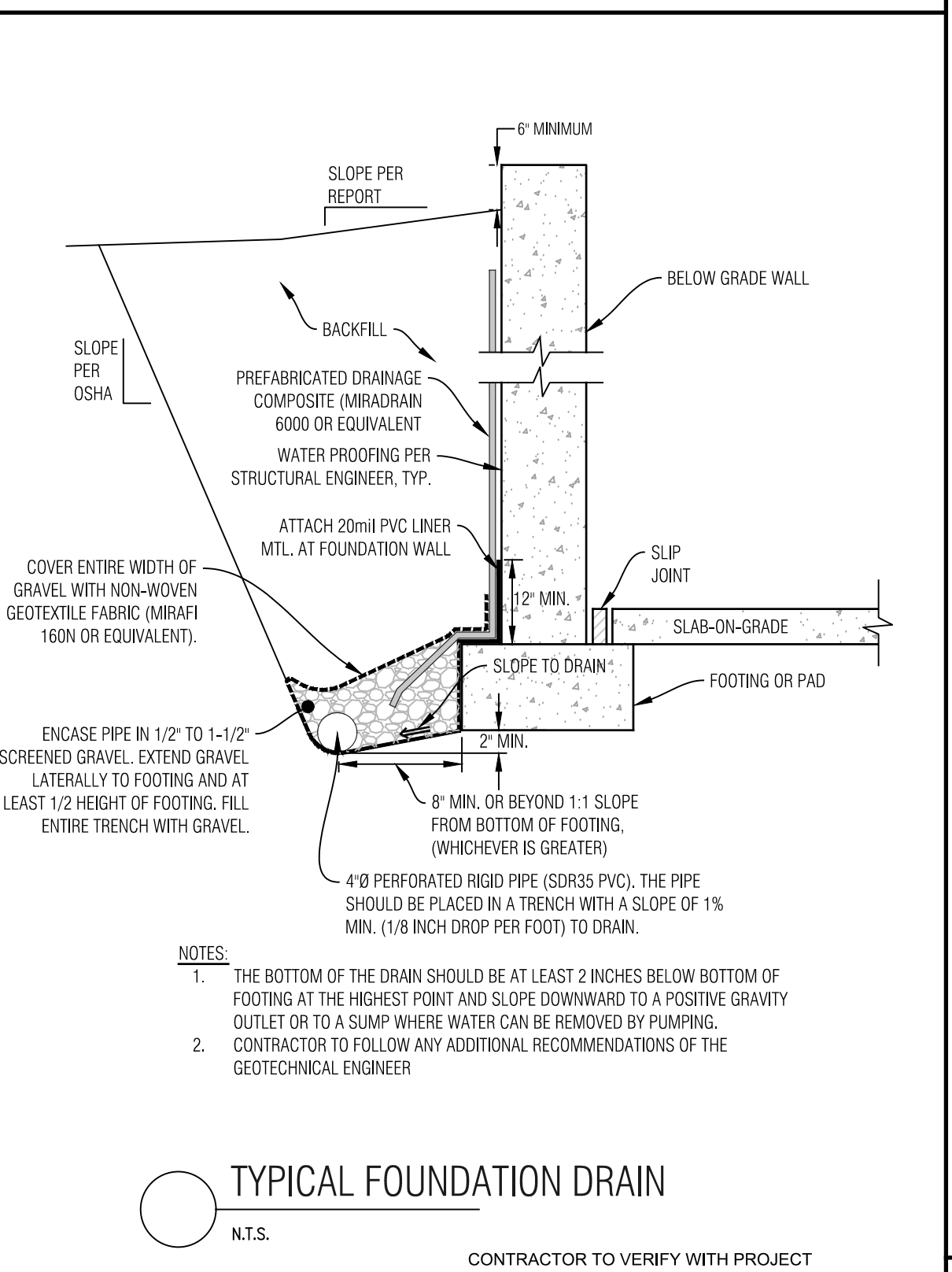
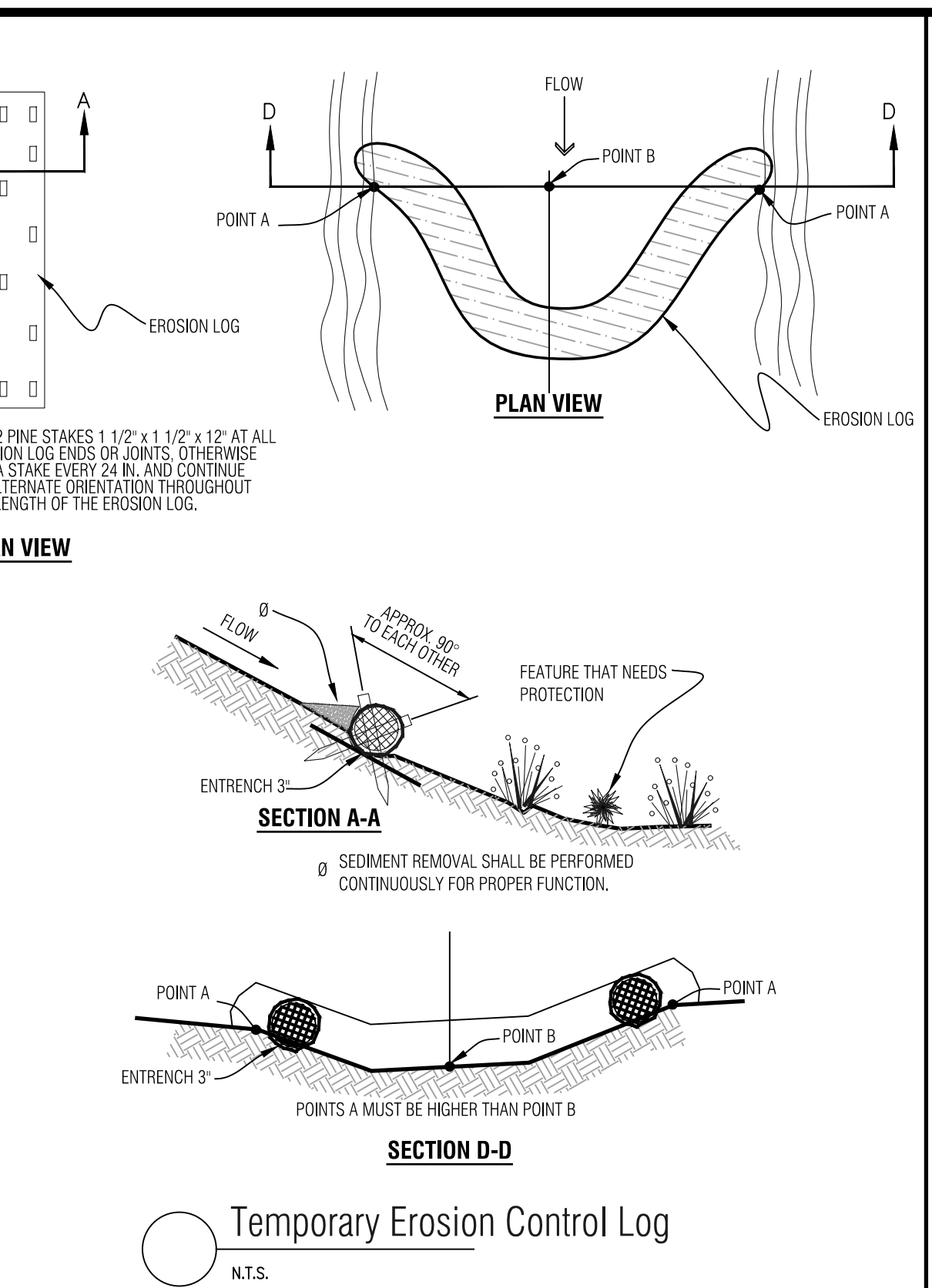
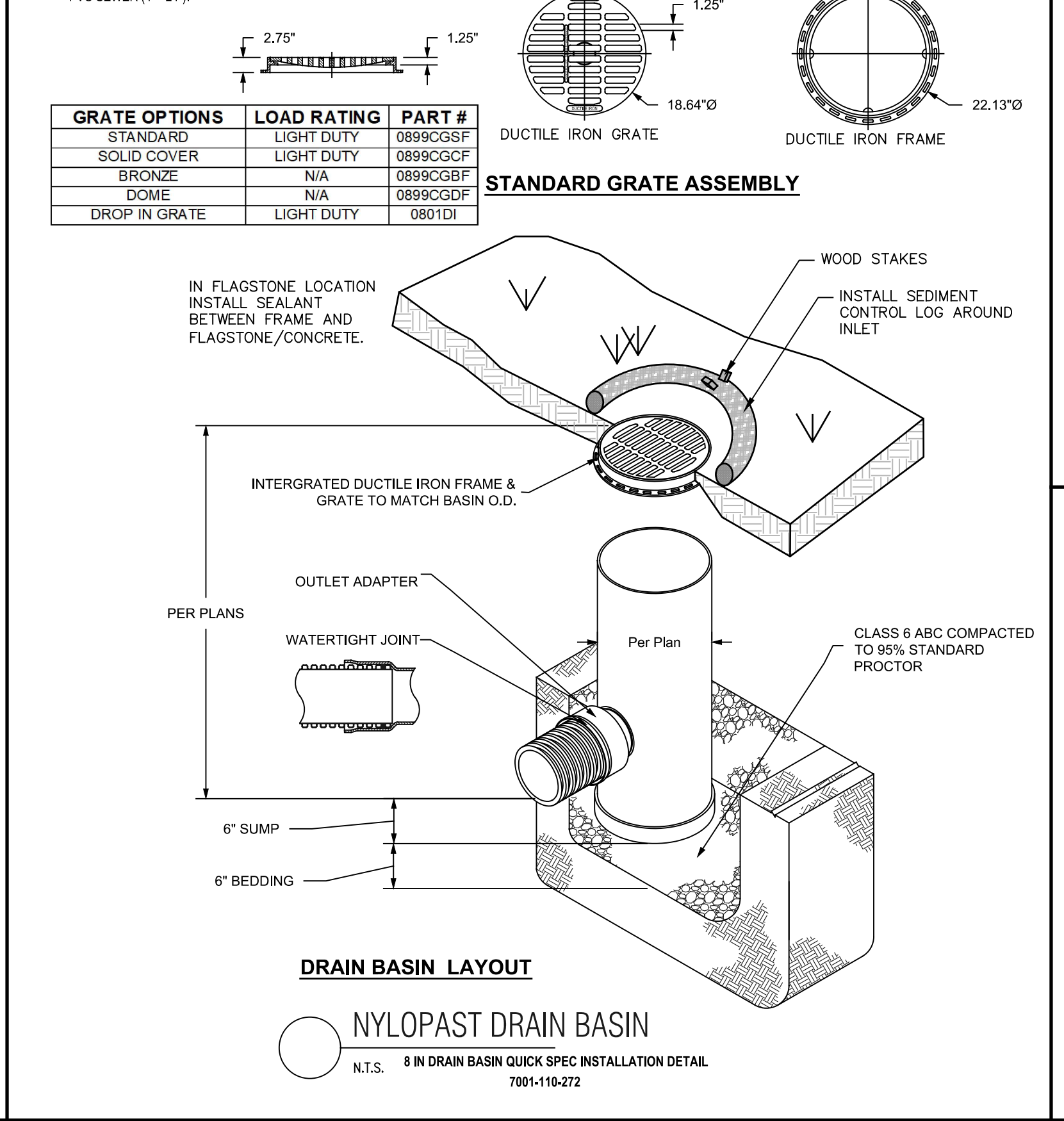
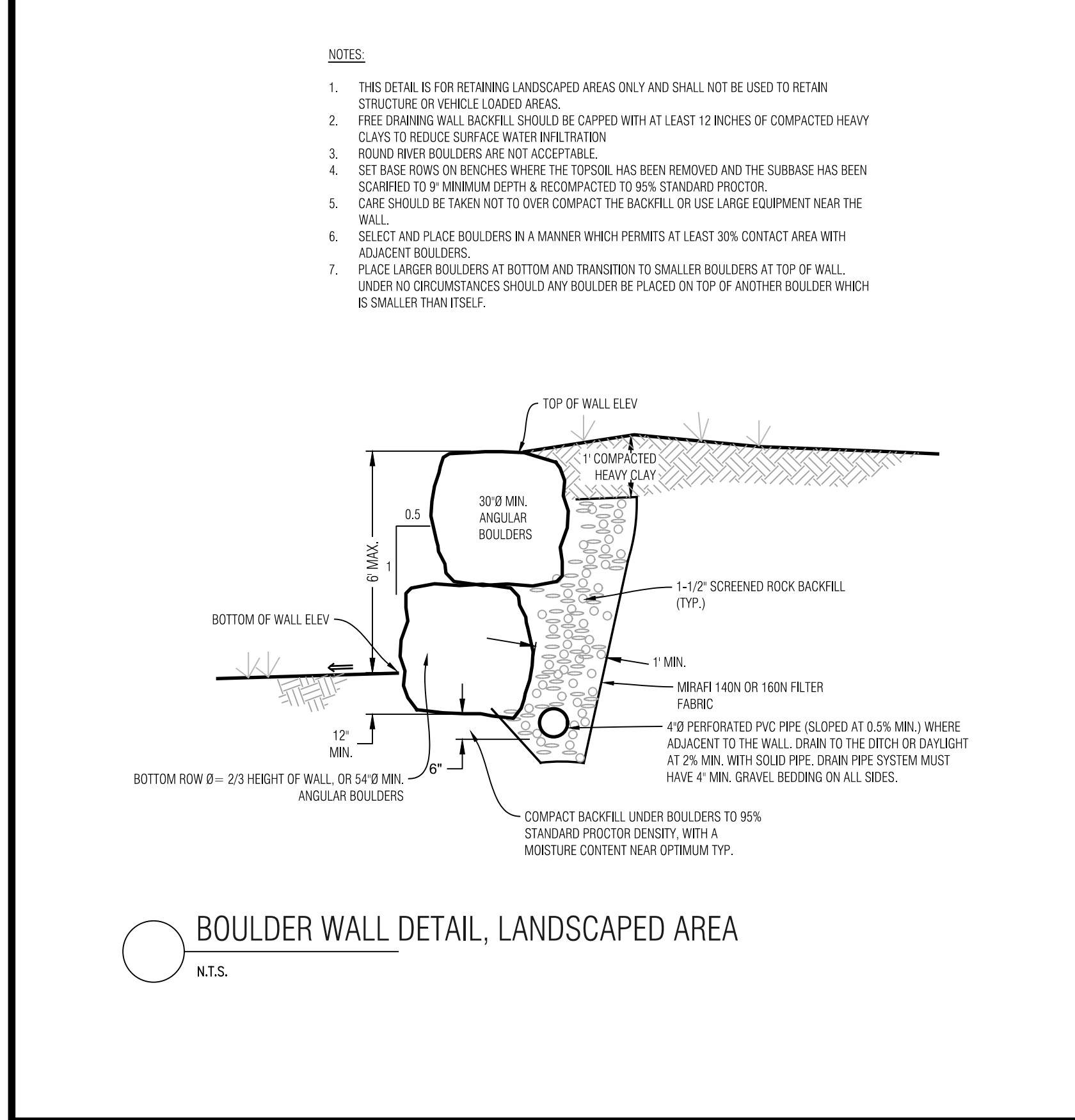
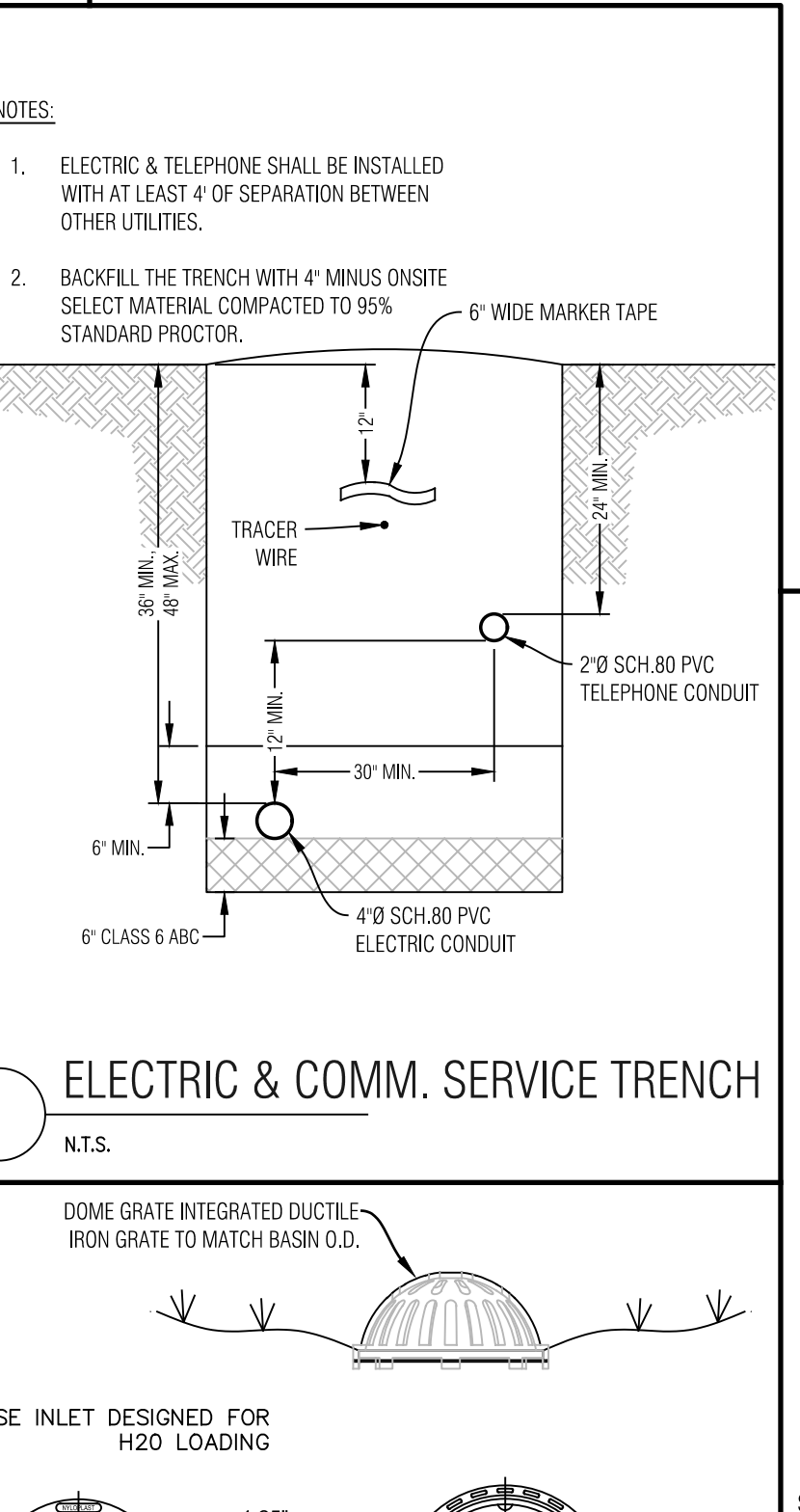
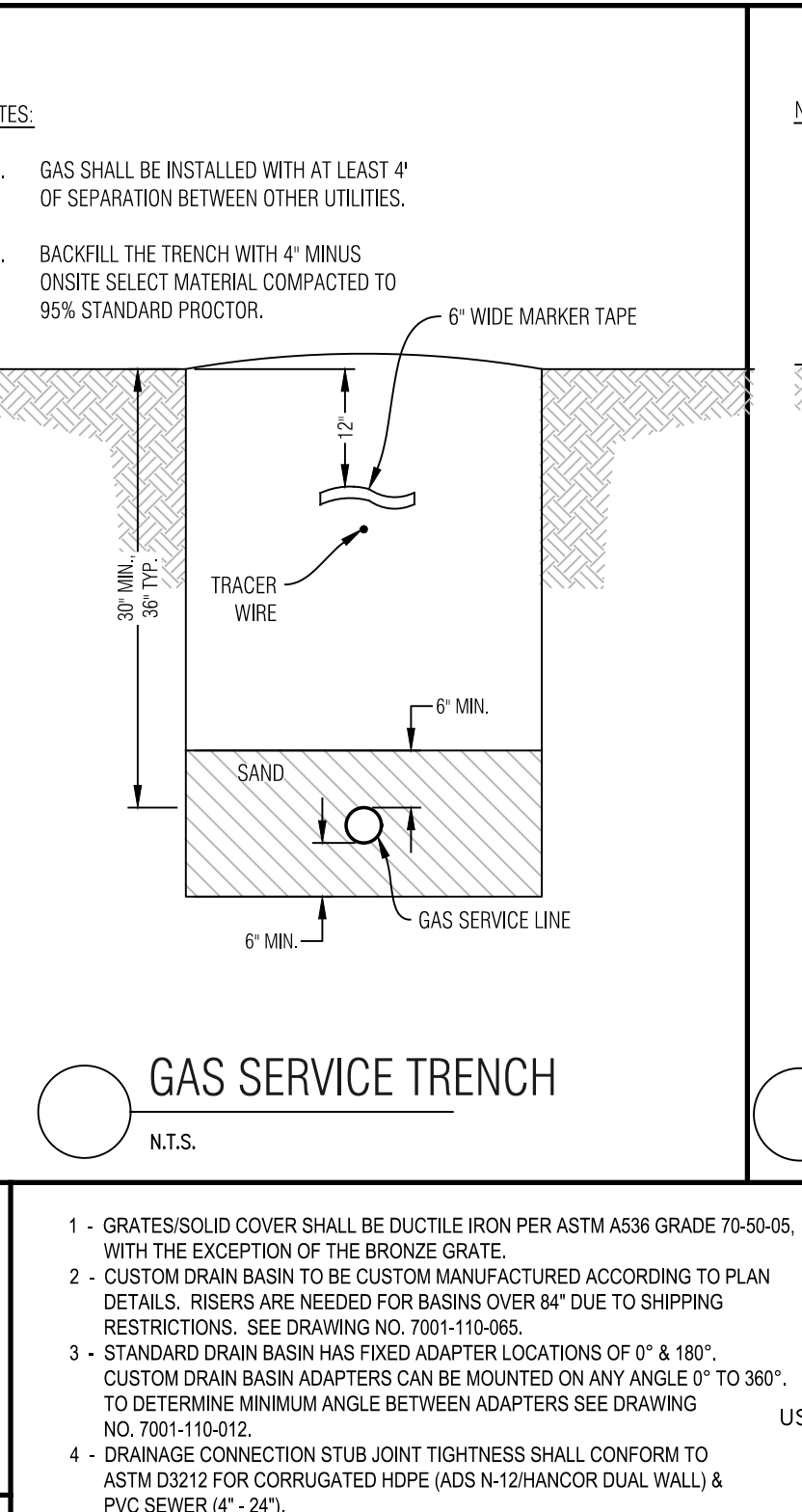
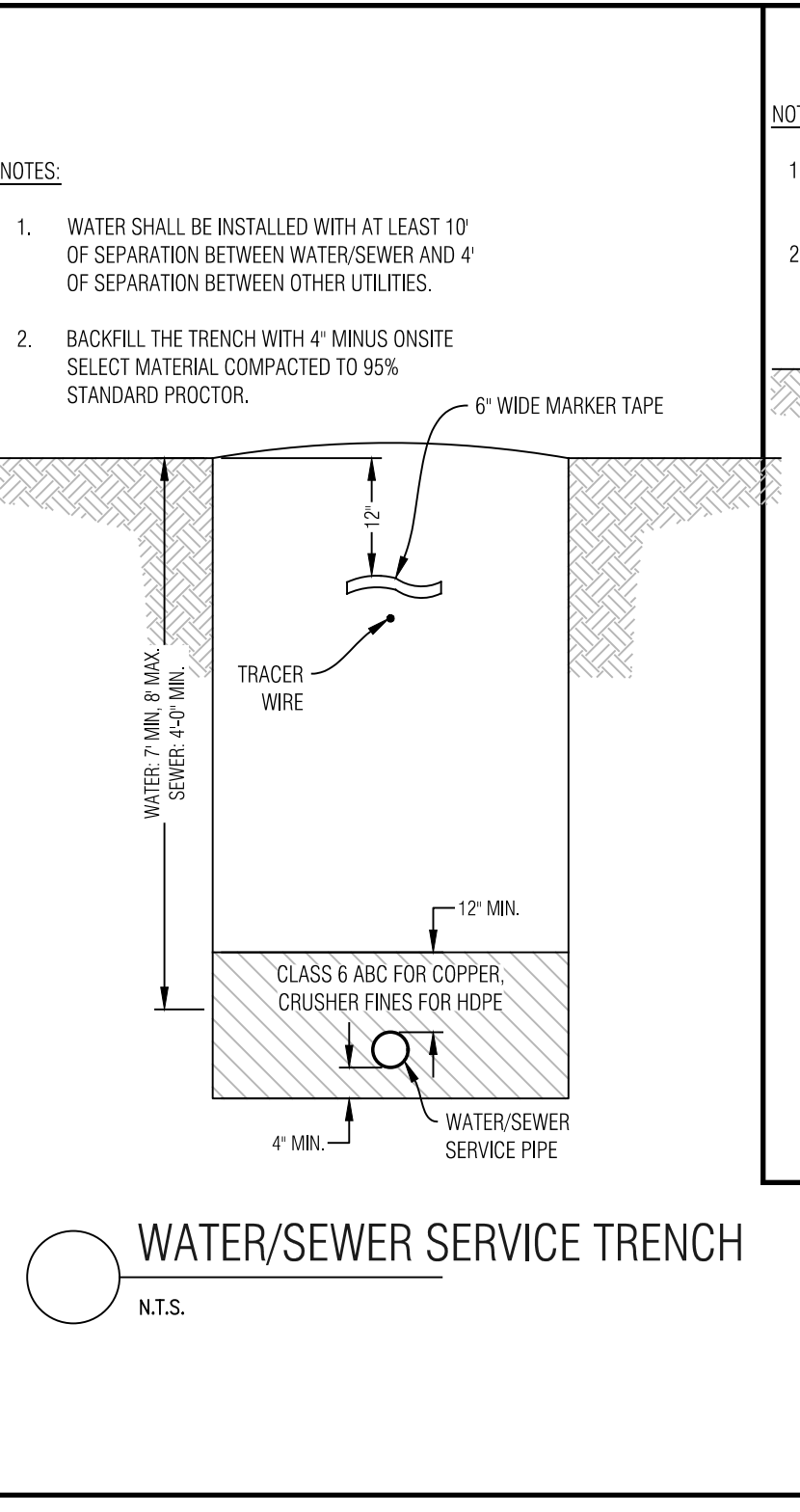
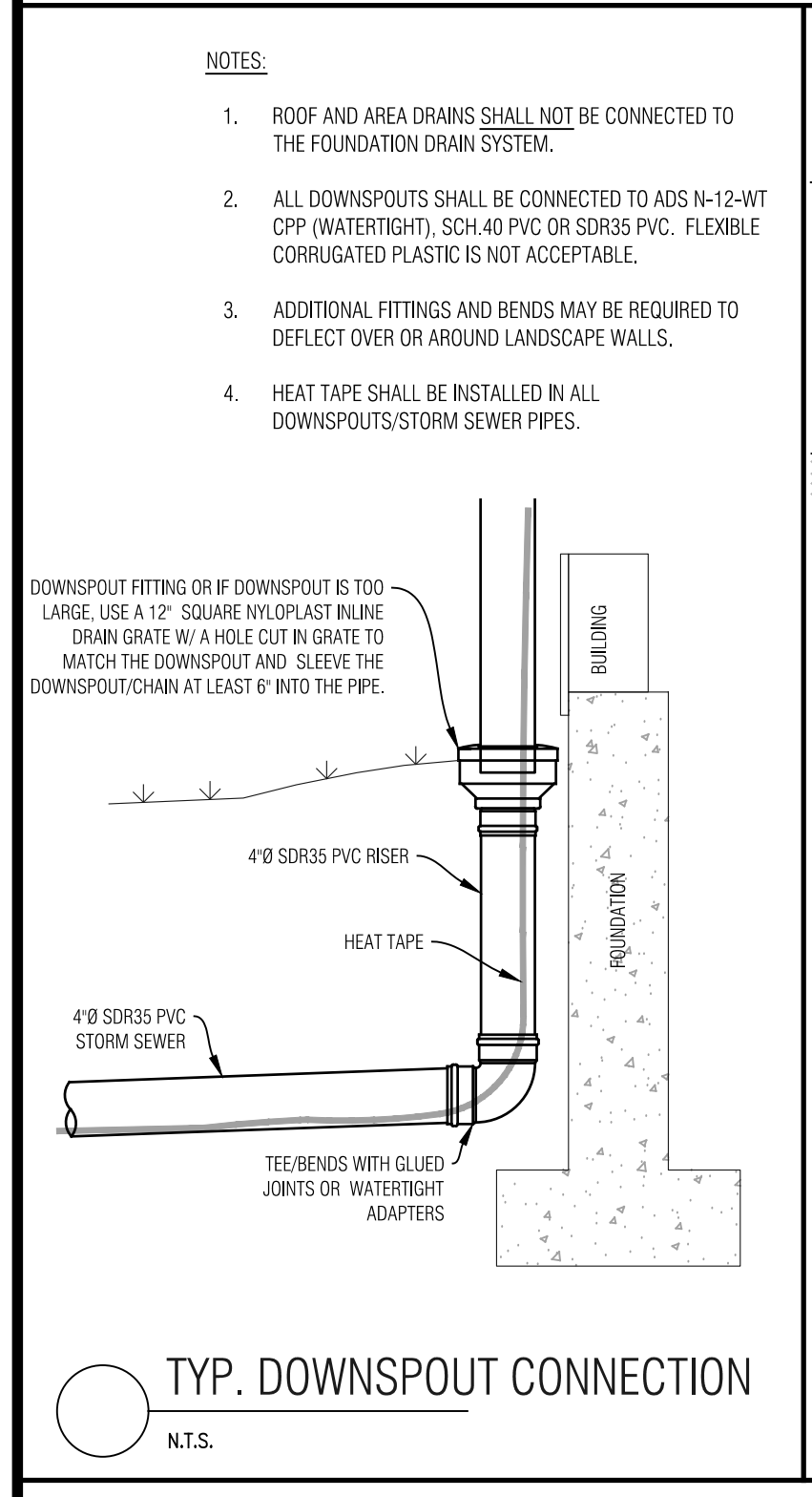
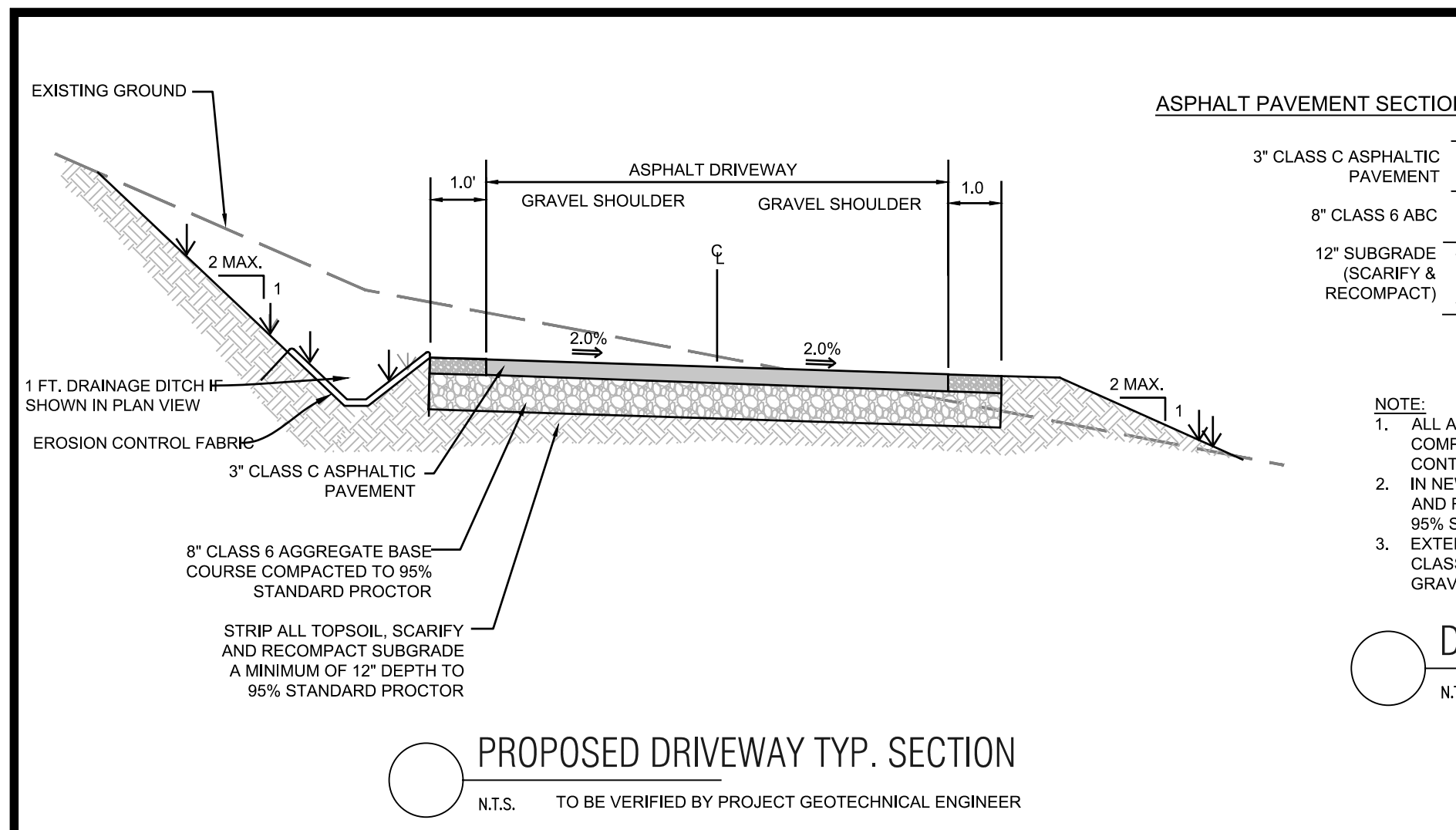
Site, Grading and Drainage Plan
DRB Submittal 4/30/25

No.	Date	Revision
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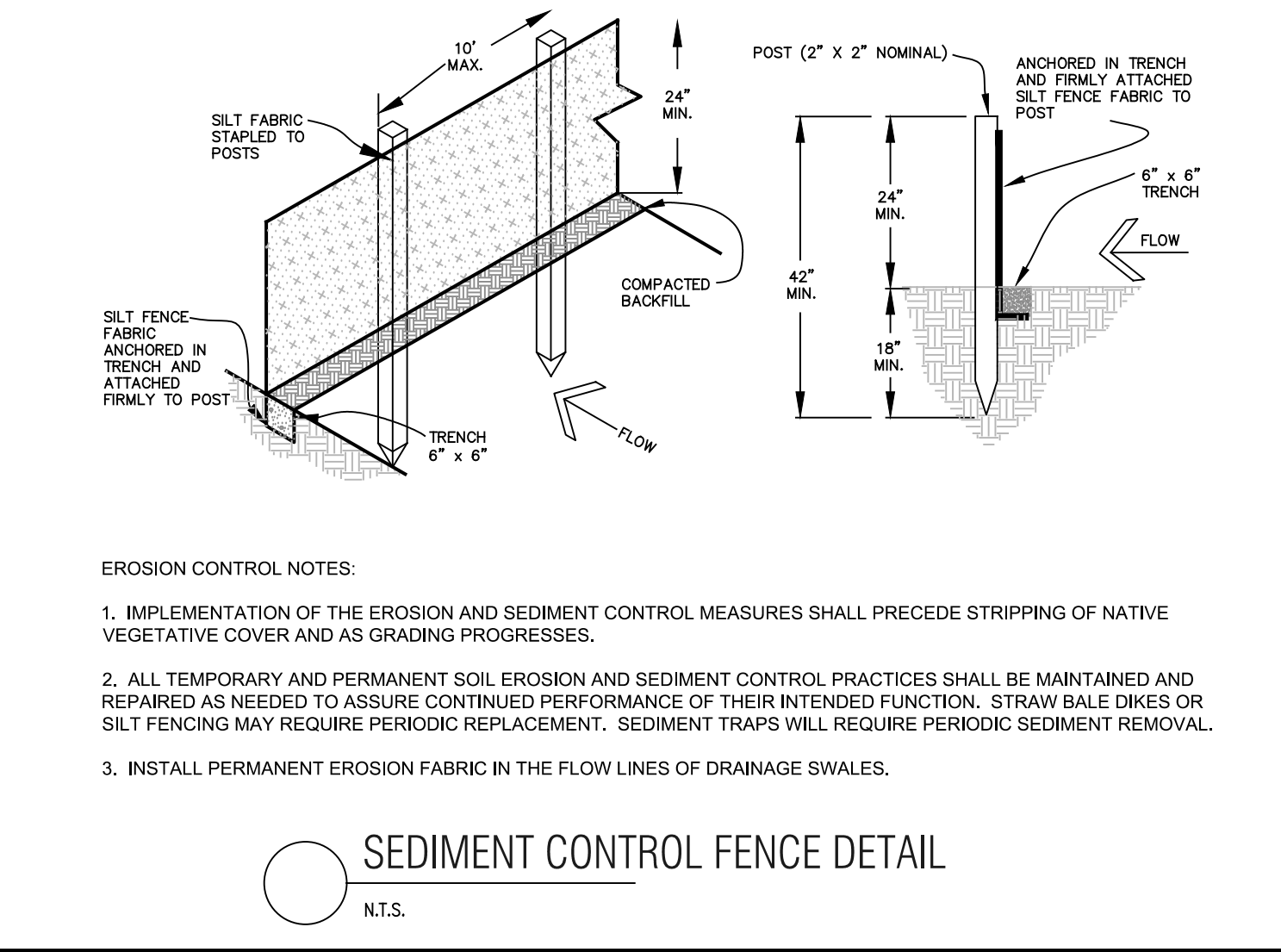
PROJECT NO. 23005
Designer: **PAH**
Checker: **BUJ**
Date: **4/20/25**

Sheet **C1**

File Name: **mn lot 28 sp-01.dwg**



- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL MEET OR EXCEED THE CURRENT REGULATIONS AND DESIGN STANDARDS ESTABLISHED BY THE DESIGN GUIDELINES AND TOWN OF MINTURN AND BE SUBJECT TO OBSERVATION BY THE TOWN AND THE PROJECT ENGINEER. IN THE EVENT OF CONFLICT PUD GUIDELINES SUPERCEDE TOWN.
 - THIS DESIGN WAS PREPARED WITHOUT THE BENEFIT OF A SUBSURFACE UTILITY ENGINEERING (SUE) STUDY OR MAP. THIS DESIGN HAS BEEN PREPARED FOR A PRIVATE DEVELOPMENT USING EXISTING UTILITY INFORMATION PROVIDED BY OTHERS. EXISTING UTILITIES ARE SHOWN AS THEY ARE BELIEVED TO EXIST, BUT MAY NOT REPRESENT ACTUAL FIELD CONDITIONS. BOUNDARIES UNLIMITED INC. DID NOT CONFIRM ANY DATA PROVIDED OR PERFORM ANY ADDITIONAL RESEARCH OR NOTIFICATION TO ELEVATE THESE PLANS TO SENATE BILL 18-167 STANDARDS. AS SUCH, BOUNDARIES UNLIMITED INC. MAKES NO GUARANTEE, EXPRESSED OR IMPLIED, FOR THE LOCATION OF SUBSURFACE UTILITIES CONTAINED WITHIN THIS PLAN SET. IF THE CLIENT AND/OR CONTRACTOR REQUIRES A SUBSURFACE UTILITY ENGINEERING STUDY OR MAP FOR FULL COMPLIANCE WITH SENATE BILL 18-167, THEN A MORE EXHAUSTIVE INVESTIGATION SHALL BE OBTAINED BY THE CLIENT AND/OR CONTRACTOR PRIOR TO COMMENCING WITH ANY CONSTRUCTION. OTHERWISE, PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO UTILITY CONSTRUCTION SO THAT LINE OR GRADE CHANGES CAN BE MADE TO AVOID A CONFLICT WITH ANY EXISTING UTILITY. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION AND, AT NO EXPENSE TO THE CLIENT OR PROJECT ENGINEER, REPAIR ANY DAMAGED UTILITIES.
 - ALL EXCAVATIONS FOR UTILITY LINES, RETAINING WALLS, ROADWAYS, BUILDING STRUCTURES, DRAINAGE FACILITIES AND TRENCHES, SHALL MEET THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), COLORADO INDUSTRIAL COMMISSION, OR THE COLORADO DIVISION OF MINES, WHICH EVER APPLIES. SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. NO OTHER PARTIES ARE RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE SITE. NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY WITH ANY REGULATIONS RELATING HERETO.
 - COMPACTION MUST BE OBTAINED AND COMPACTION RESULTS SUBMITTED TO THE TOWN AND THE PROJECT ENGINEER PRIOR TO ACCEPTANCE. CONTRACTOR SHALL MEET OR EXCEED TOWN REGULATIONS. 95% STANDARD PROCTOR DENSITY IS REQUIRED FOR ALL ROADWAY AND DRIVEWAY SUBGRADE AND TRENCH BACKFILL UNLESS OTHERWISE NOTED. 80% STANDARD PROCTOR DENSITY IN LANDSCAPE AREAS, UNLESS NOTED OTHERWISE OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. SEE SOILS REPORT FOR STRUCTURAL FOUNDATION RECOMMENDATIONS.
 - THE CONTRACTOR SHALL CONTAIN HIS CONSTRUCTION ACTIVITIES TO THE AREA WITHIN THE STREET RIGHT OF WAY AND PROPERTY OWNED, OR EASEMENTS PROVIDED TO OWNER. THE CONTRACTOR SHALL NOT OPERATE OUTSIDE THIS AREA WITHOUT THE PRIOR CONSENT OF THE PROPERTY OWNER INVOLVED. ANY DAMAGE TO PRIVATE PROPERTY BY THE CONTRACTOR OUTSIDE THESE LIMITS WITHOUT THE PERMISSION OF THE PRIVATE PROPERTY OWNER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL ENSURE DRAINAGE AWAY FROM ALL STRUCTURES IN ALL DIRECTIONS. DO NOT ALLOW WATER TO POND ON-SITE. PROVIDE SWALES TO DRAINAGE STRUCTURES AND RUNOUT. SHALLOW DRAINAGE SWALES HAVE A TENDENCY OVER TIME TO FILL IN & BECOME LESS EFFECTIVE. PERIODIC MAINTENANCE, AT LEAST TWICE A YEAR, IS NECESSARY TO CHECK THE INTEGRITY OF THE SWALE & MAINTAIN DRAINAGE CHARACTERISTICS. BUILDING FOUNDATION WALL HEIGHT TO BE A MINIMUM OF 6" ABOVE FINISH GROUND AT EXTERIOR WALL.
 - THE CONTRACTOR SHALL AT ALL TIMES KEEP TWO FULL SETS OF CONTRACT DRAWINGS MARKED UP TO INDICATE THE AS-BUILT CONDITIONS. THE DRAWINGS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER UPON COMPLETION OF THE WORK. WHERE PRACTICAL, THE CONTRACTOR IS TO PROVIDE AT LEAST TWO TIES FROM PHYSICAL MONUMENTS TO ALL FITTINGS, VALVES, MANHOLES, AND THE END OF ALL SERVICE LINES.
 - ON-SITE OBSERVATIONS AND REVIEW CONDUCTED BY THE TOWN OR THE PROJECT ENGINEER OF CONSTRUCTION WORK IN PROGRESS ARE NOT TO BE CONSTRUED AS A GUARANTEE OR WARRANTY BY THE TOWN OR THE PROJECT ENGINEER OF THE COMPLETED WORK AND THE CONTRACTOR'S RESPONSIBILITIES.
 - THE CONTRACTOR SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO SIGNIFICANTLY REDUCE ANY POTENTIAL POLLUTION CAUSED BY HIS ACTIVITIES, INCLUDING VEHICLE FUELING, STORAGE OF FERTILIZERS OR CHEMICALS, ETC. THE CONTRACTOR SHALL HAVE IDENTIFIED PROCEDURES FOR HANDLING POTENTIAL POLLUTANTS AND IDENTIFIED SPILL PREVENTION AND RESPONSE PROCEDURES PRIOR TO ANY ACTIVITIES AT THE PROJECT SITE.
 - THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. ANY MISSING DIMENSIONS OR DISCREPANCIES IN PLANS, FIELD STAKING OR PHYSICAL FEATURES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER. IF THE CONTRACTOR PROCEEDS WITH THE WORK WITHOUT NOTIFYING THE ENGINEER, HE DOES SO AT HIS OWN RISK.
 - DISPOSAL OF TRASH, ASPHALT, CONCRETE AND CONSTRUCTION DEBRIS IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE CONSIDERED PART OF THE WORK.
 - HORIZONTAL & VERTICAL INFORMATION FOR EXISTING PROPERTY LINES, TOPOGRAPHY, ROADWAY UTILITIES & DRAINAGE STRUCTURES WERE TAKEN FROM THE DESIGN DRAWINGS FOR THE MINTURN NORTH PUD. ALSO SEE LANDSCAPE, ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR ADDITIONAL BUILDING AND DRAINAGE INFORMATION.
 - IN NON HARDSCAPE AREAS, GRADE AT A MINIMUM OF 12" IN THE FIRST 5 FEET AWAY FROM THE STRUCTURE, OR AS DIRECTED BY THE GEOTECHNICAL STUDY. EXTERIOR BACKFILL SHOULD BE ADJUSTED TO NEAR OPTIMUM MOISTURE AND TO AT LEAST 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY IN PAVEMENT AREAS AND TO AT LEAST 90% OF THE MAXIMUM STANDARD PROCTOR DENSITY IN LANDSCAPE AREAS. SEE & FOLLOW RECOMMENDATIONS OF THE GEOTECHNICAL SUBSOIL STUDY BY KUMAR & ASSOCIATES, INC. DATED _____ JOB NO. _____.
 - ALL PRODUCT INFORMATION SHOWN IS AS PROVIDED BY THE MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COMPLYING WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS FOR THE INSTALLATION OF ALL MATERIALS WITH SPECIAL ATTENTION TO PROPER SEALING OF MATING SURFACES. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE DELIVERED PRODUCTS AND THOSE SHOWN ON THIS PLAN.
 - FOUNDATION AND RETAINING WALL DESIGNS TO BE OBTAINED FROM, OR VERIFIED BY THE PROJECT STRUCTURAL OR GEOTECHNICAL ENGINEER.
 - THE FOUNDATION DRAIN SYSTEM SHALL BE INSTALLED PER THE RECOMMENDATION OF THE STRUCTURAL AND GEOTECHNICAL ENGINEERS.
 - THE SURVEYOR RESPONSIBLE FOR STAKING THE FOUNDATION OF THE HOUSE IS RESPONSIBLE TO MAKE SURE HE HAS THE LATEST SITE, FOUNDATION & ARCHITECTURAL PLANS AVAILABLE, ALONG WITH ANY UPDATED LOTLINE, SETBACK & EASEMENT INFORMATION.
 - INSTALL ROOF GUTTERS AND DOWNSPOUTS THAT DISCHARGE WELL BEYOND THE LIMITS OF ALL BACKFILL. CONFIRM DOWNSPOUT DRAINAGE HAS GOOD POSITIVE GRADE RUNNING AWAY FROM THE HOUSE. STORM DRAIN PIPES TO BE INSTALLED WITH 1% MINIMUM SLOPE TO THE OUTFALL POINTS. HEAT TAPE SHALL BE INSTALLED IN ALL EXTERIOR ROOF GUTTERS, DRAIN PIPES, DOWNSPOUTS, AREA DRAINS, TRENCH DRAINS, STORM DRAIN PIPES AND REGULATED STRUCTURES.
 - LANDSCAPING WHICH REQUIRES REGULAR HEAVY IRRIGATION SUCH AS SOD, AND LAWN SPRINKLER HEADS SHOULD BE LOCATED AT LEAST 10 FEET FROM FOUNDATION WALLS.
 - ACCUMULATED SNOWFALL SHALL BE REMOVED TO GRASS AREA TO ENSURE THAT PROPER DRAINAGE AWAY FROM THE BUILDING IS MAINTAINED.
 - FINISH GRADE & SPOT ELEVATIONS AT THE EXTERIOR OF THE STRUCTURE ASSUME THAT THE FOUNDATION WALLS EXTEND ABOVE THE BUILDING FINISH FLOOR & HANGER FLOOR JOISTS ARE USED. EXTERIOR GRADE TO BE A MINIMUM OF 6" BELOW TOP OF FOUNDATION WALL. THE FOUNDATION WALL HEIGHT MAY NEED TO BE EXTENDED IN ORDER TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
 - INSTALL DEEP & SHALLOW UTILITY SERVICES ACCORDING TO RESPECTIVE UTILITY COMPANY OR METRO DISTRICT SPECIFICATIONS AND REGULATIONS. HORIZONTAL LOCATIONS OF SERVICE LINES ARE SUGGESTIONS ONLY. PROPOSED UTILITY SERVICES TO THE RESIDENCE MAY VARY FROM THE LOCATIONS SHOWN. ALL WATER AND SEWER SERVICES SHALL BE INSTALLED PER METRO DISTRICT REGULATIONS.
 - DRAINAGE PIPES CALLED OUT AS ADS SHALL BE ADVANCED DRAINAGE SYSTEMS N-12 WATER RESISTANT PIPE (ADS N-12-WT) OR ENGINEER APPROVED EQUAL. ALL PIPES SHALL BE INSTALLED WITH WATER TIGHT CONNECTIONS.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITTING FOR CONSTRUCTION FROM THE APPROPRIATE GOVERNMENTAL ENTITIES.
 - ALL UTILITIES, BOTH UNDERGROUND OR OVERHEAD, SHALL BE MAINTAINED IN CONTINUOUS SERVICE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR DAMAGES TO, OR INTERRUPTION OF, SERVICES CAUSED BY THE CONSTRUCTION.



Boundaries Surveying & Beyond
Civil Engineering Surveying & Beyond
923 Cooper Ave., Ste. 201
Glenwood Springs, CO 81601
(770) 945-5252
www.bu-inc.com

Subsurface Utility Engineering (SUE)
Required Project: **TBD**
If Yes: SUE Certification by:
Firm: **TBD**
Job #: **TBD**
Date: **TBD**

Engineer or Surveyor Seal

NOT FOR CONSTRUCTION REVIEW

Client Information:
MINTURN NORTH LAND COMPANY LLC
PO BOX 2633
EDWARDS, CO 81632
970 926-1720

811
Know what's below.
Call before you dig.

TOWN OF MINTURN, COLORADO

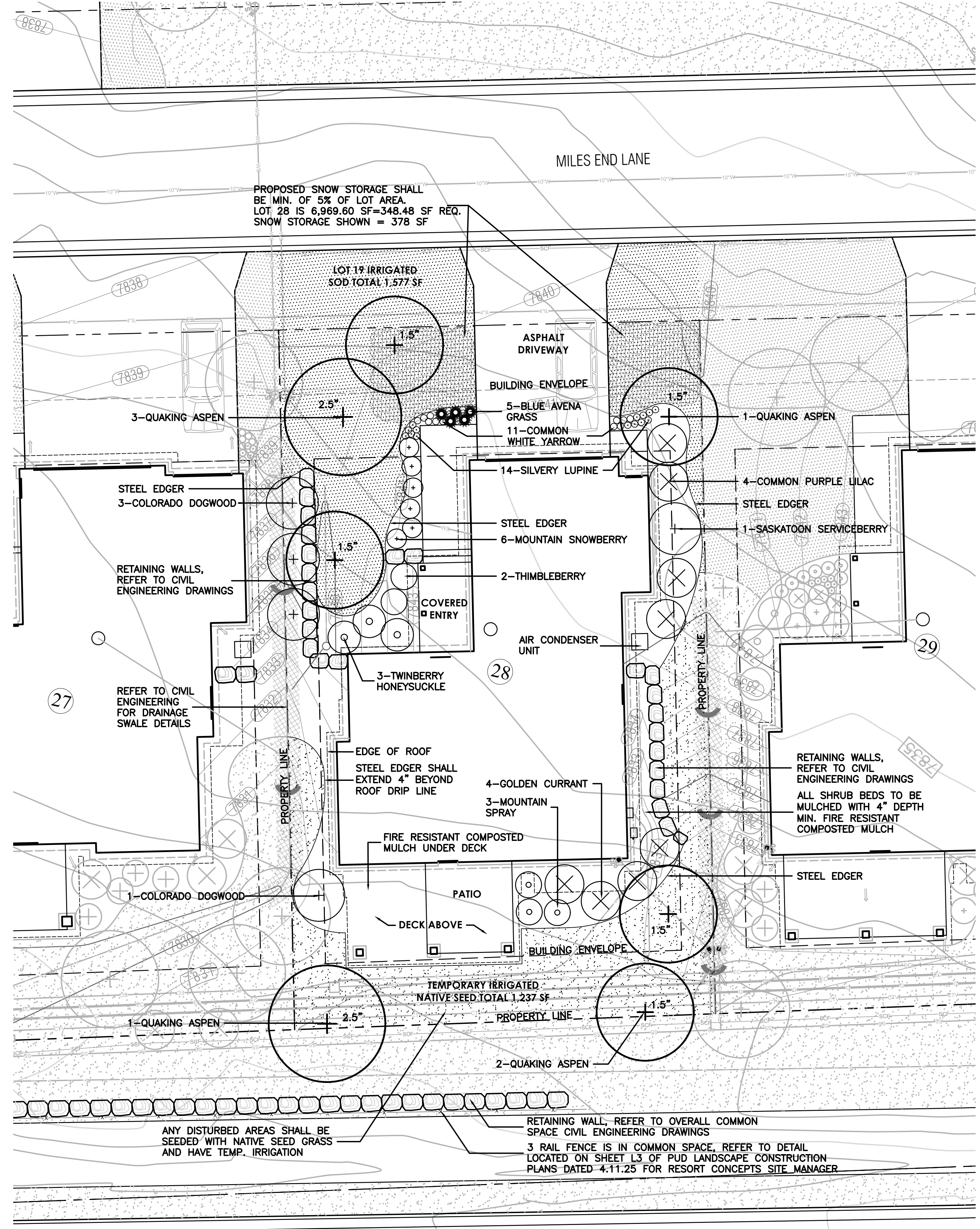
Lot 28, Minturn North P.U.D.
Notes and Details
DRB Submittal 4/30/25

By	Revision	Date
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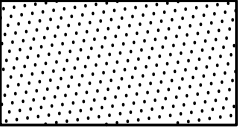
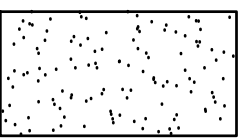
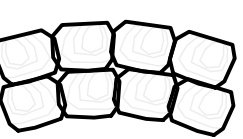
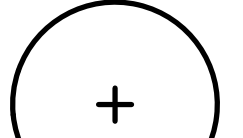
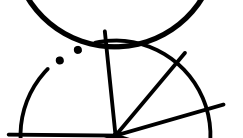

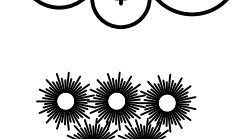
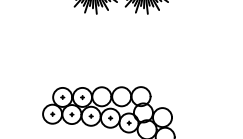
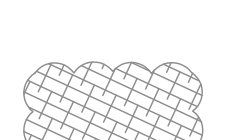
PROJECT NO. 23085
Designer: **PAH**
Checker: **BUJ**
Date: **4/20/25**

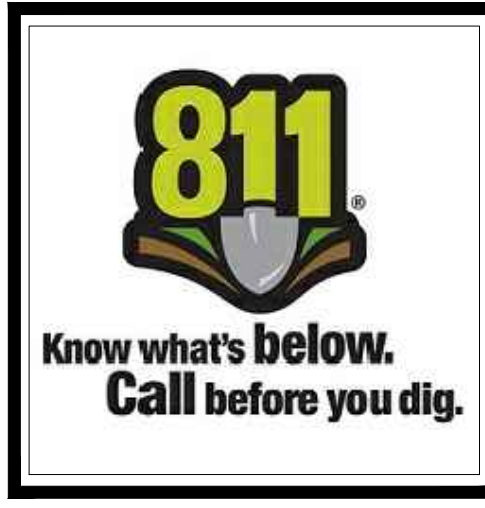
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LEGEND

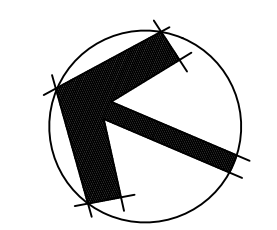
-  IRRIGATED SOD, REFER TO L2 FOR DETAILS
-  NATIVE SEED MIX WITH TEMPORARY IRRIGATION, REFER TO L2 FOR DETAILS
-  PROPOSED RETAINING WALL, REFER TO CIVIL ENGINEERING FOR DETAILS
-  PROPOSED DECIDUOUS TREE
-  PROPOSED EVERGREEN TREE
-  PROPOSED DECIDUOUS SHRUBS
-  PROPOSED ORNAMENTAL GRASSES
-  PROPOSED FLOWERING PERENNIALS
-  SNOW STORAGE AREA



LANDSCAPE ARCHITECT:
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 EDWARDS, CO 81632
 P. 303.572.7876
 TTownsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.
 LOT 28-LANDSCAPE PLAN
 TOWN OF MINTURN, COLORADO

DESIGNED: TT
 DRAWN: TT
 CHECKED: RH
 DATE: April 30, 2025
 REVISIONS:



0 5 10 20
 SCALE: 1"=10'-0"

DRB SUBMITTAL

SHEET TITLE:
 PROPOSED
 LANDSCAPE PLAN
 SCALE: 1"=10'-0"
 SHEET NUMBER:
L1

General Notes and Specifications:

- All areas disturbed by construction and not designated a shrub bed or sod, shall be planted with the specified native grass seed.
- The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior to planting.
- The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and Town of Minturn standards.
- See Civil Engineering sheets for final grading and drainage.
- Snow Storage area shall be a min. of 25% of all driveway and parking areas.

Revegetation Notes:

- Seed shall be broadcast and raked to 1/4" depth.
- Apply Biodegradable Green Dyed-Wood Cellulose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
- Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete Fertilizer.

Fire Mitigation Recommendations:

- Zone 1 (15' from building and integral planting): no highly flammable plants, such as evergreen trees and shrubs should be planted within 15' of the structure or attachments.
- Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all evergreen trees and shrubs over 4' height. A 4' crown separation must be maintained for evergreen shrubs under 4' height.
- Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
- Existing junipers within Zone 1 and Zone 2 must be limbed 1/2 of their total height, but no more than 10' height.
- Dead limbs shall be removed from all existing Serviceberry within Zone 1 or Zone 2.
- If necessary, final existing vegetation to be limbed or removed for fire mitigation purposes will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Town of Minturn on a unit by unit basis prior to construction.

LEGEND & IRRIGATION CALCULATIONS:		
Permanent Irrigation		Square Footage of Irrigation
	Permanent Pop-Up Spray Irrigation For Bluegrass Sod	1,577 SF
	Permanent micro-spray or drip irrigation for perennial beds	25 PERENNIALS x 1 SF = 25 SF
	Permanent Drip Irrigation For B&B Trees	7 TREES x 4.5 SF = 32 SF
	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	32 SHRUBS x 3 SF = 96 SF
		TOTAL PERMANENT IRRIGATED AREA: 1,730 SF
	Temporary Spray Irrigation For Native Seed	2,237 SF

IRRIGATION NOTES:

- DESIGN CRITERIA: DESIGN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO UNIFORMLY IRRIGATE ALL PLANTING AREAS. ZONE IRRIGATED SOD, NATIVE SEED GRASS, AND SHRUB PLANTING AREAS SEPARATELY. PROVIDE DRIP IRRIGATION FOR SHRUB BEDS. PROVIDE MICRO-SPRAY HEADS OR DRIP IRRIGATION, DEPENDING ON PLANT MATERIAL, IN PERENNIAL AND GROUND COVER BEDS. DESIGN ROTORS FOR TURF GRASS AREAS MORE THAN 40' WIDE, AND POP-UP SPRAY HEADS FOR AREAS LESS THAN 40' WIDE.
- ALL TREES AND SHRUBS TO BE DRIP IRRIGATED.

ALL DISTURBED AREAS SHALL BE SEEDED WITH: 'DRY NATIVE MOUNTAIN' SEED MIX

THIS SEED MIX HAS BEEN CHOSEN FOR THE SPECIFIC PROJECT LOCATION AND ELEVATION. LANDSCAPE INSTALLER SHALL NOT DEVIATE FROM THIS REVEGETATION SEED MIX WITHOUT WRITTEN APPROVAL FROM THE RESORT CONCEPTS SITE MANAGER.

COMMON NAME	SEEDING RATE % MIX	BULK LBS PER ACRE
SANDBERG BLUE	10%	5.00
MOUNTAIN BROME	20%	10.00
SLENDER WHEATGRASS	15%	7.50
BLUEBUNCH WHEATGRASS	10%	5.00
ROCKY MOUNTAIN FESCUE	10%	5.00
THICKSPIKE WHEATGRASS	15%	7.50
BOTTLEBRUSH SQUIRRELTAIL	2.5%	1.25
STREAMBANK WHEATGRASS	15%	7.50
PRAIRIE JUNEGRASS	2.5%	1.25
TOTAL LBS./ACRE	100%	50

NOTES:

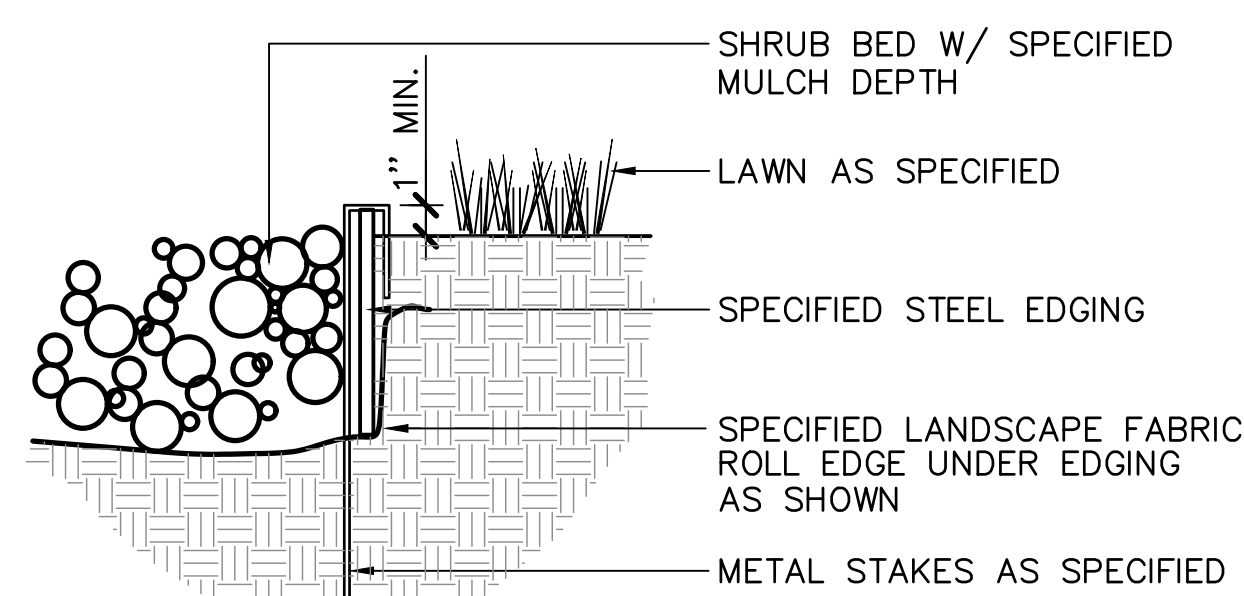
PERCENTAGES OF MIXES VARY YEAR-TO-YEAR DEPENDING ON HARVEST OF SEEDS. HYDROSEED OR HAND BROADCAST: 1 LB. PER 1,000 SQ. FT. OR 50 LBS. PER ACRE. RAKE IN 1/2" DEEP AND IRRIGATE, IF POSSIBLE UNTIL ESTABLISHED. 'DRY NATIVE MOUNTAIN' SEED MIX IS AVAILABLE FROM PAWNEE BUTTES SEED INC., 605 25TH STREET, GREELEY, CO 80632. PHONE: 1-800-782-5947 WEBSITE: PAWNEEBUTTESSEED.COM

PROPOSED PLANT MATERIALS LIST

Note: All plant material has been chosen from the CSU Extension Office recommended plant lists. These lists have been cross referenced to find suitable plants for the elevation of Minturn (10,000 ft and above), and also to maximize use of plants native to the area, low-water use plants, and plants that enhance habitat and food sources for insects, butterflies, birds and other animals. The cross referenced lists are the following:

- CSU Extension, Fire Wise Plant Materials - 6.305
- CSU Extension, Trees and Shrubs for Mountain Areas - Fact Sheet No. 7.423
- CSU Extension, Low-Water Native Plants for Colorado Gardens, Mountains 7,500' and Above - CO Native Plant Society
- CSU Extension, Native Trees for Colorado Landscapes - Fact Sheet No. 7.421
- CSU Extension, Native Shrubs for Colorado Landscapes - Fact Sheet No. 7.422

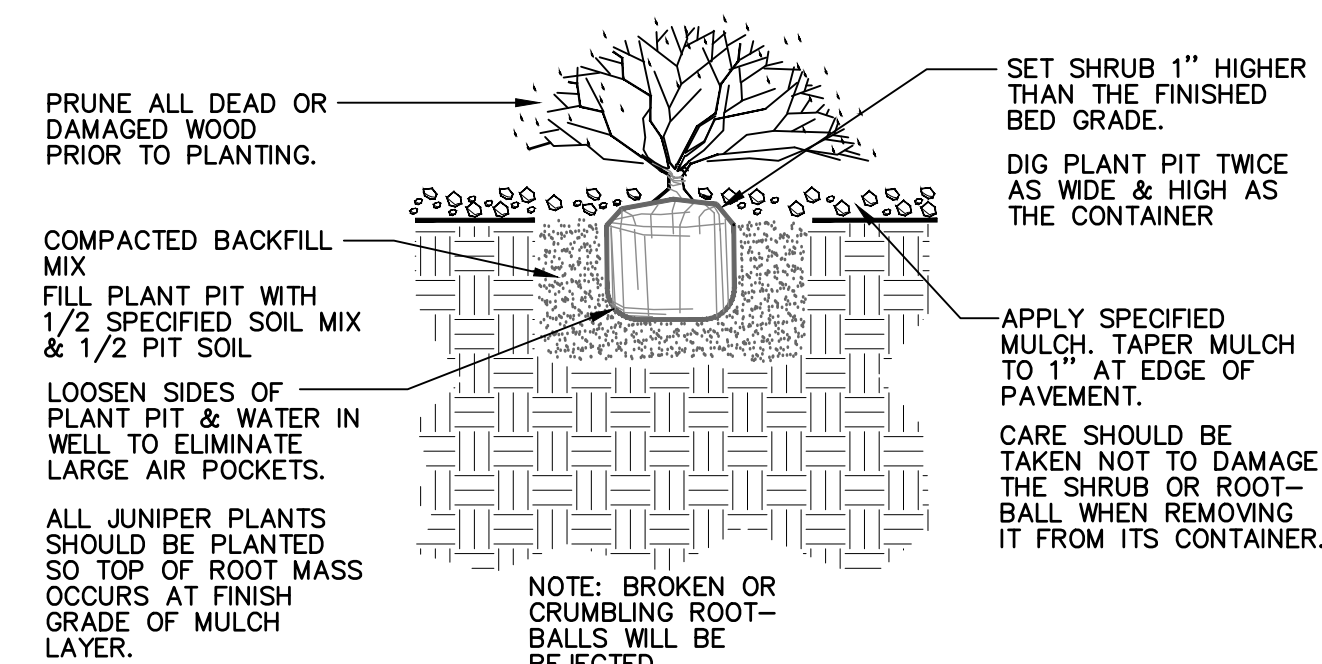
QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
DECIDUOUS TREES				
5	Quaking Aspen <i>Populus tremuloides</i>	1 & 2	1.5" cal.	Specimen quality B&B, guyed
2	Quaking Aspen <i>Populus tremuloides</i>	1 & 2	2.5" cal.	Specimen quality B&B, guyed
ORNAMENTAL GRASSES (planted @ 12" O.C. spacing)				
5	Blue Avena Grass <i>Grass, Helictotrichon sempervirens</i>	1 & 2	1 gal.	Container Full
PERENNIAL FLOWERS (planted @ 12" O.C. spacing)				
11	Common White Yarrow <i>Achillea millefolium</i>	1 & 2	Flats of 15	
14	Silvery Lupine <i>Lupinus argenteus</i>	1 & 2	Flats of 15	
DECIDUOUS SHRUBS				
4	Colorado Dogwood <i>Cornus sericea coloradense</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
4	Common Purple Lilac <i>Syringa vulgaris</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
4	Golden Currant <i>Ribes aureum</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
6	Mountain Snowberry <i>Symphoricarpos oreophilus</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
3	Mountain Spray <i>Holodiscus dumosus</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
1	Saskatoon Serviceberry <i>Amelanchier alnifolia</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
2	Thimbleberry <i>Rubus parviflorus</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
3	Twinberry Honeysuckle <i>Lonicera involucrata</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.



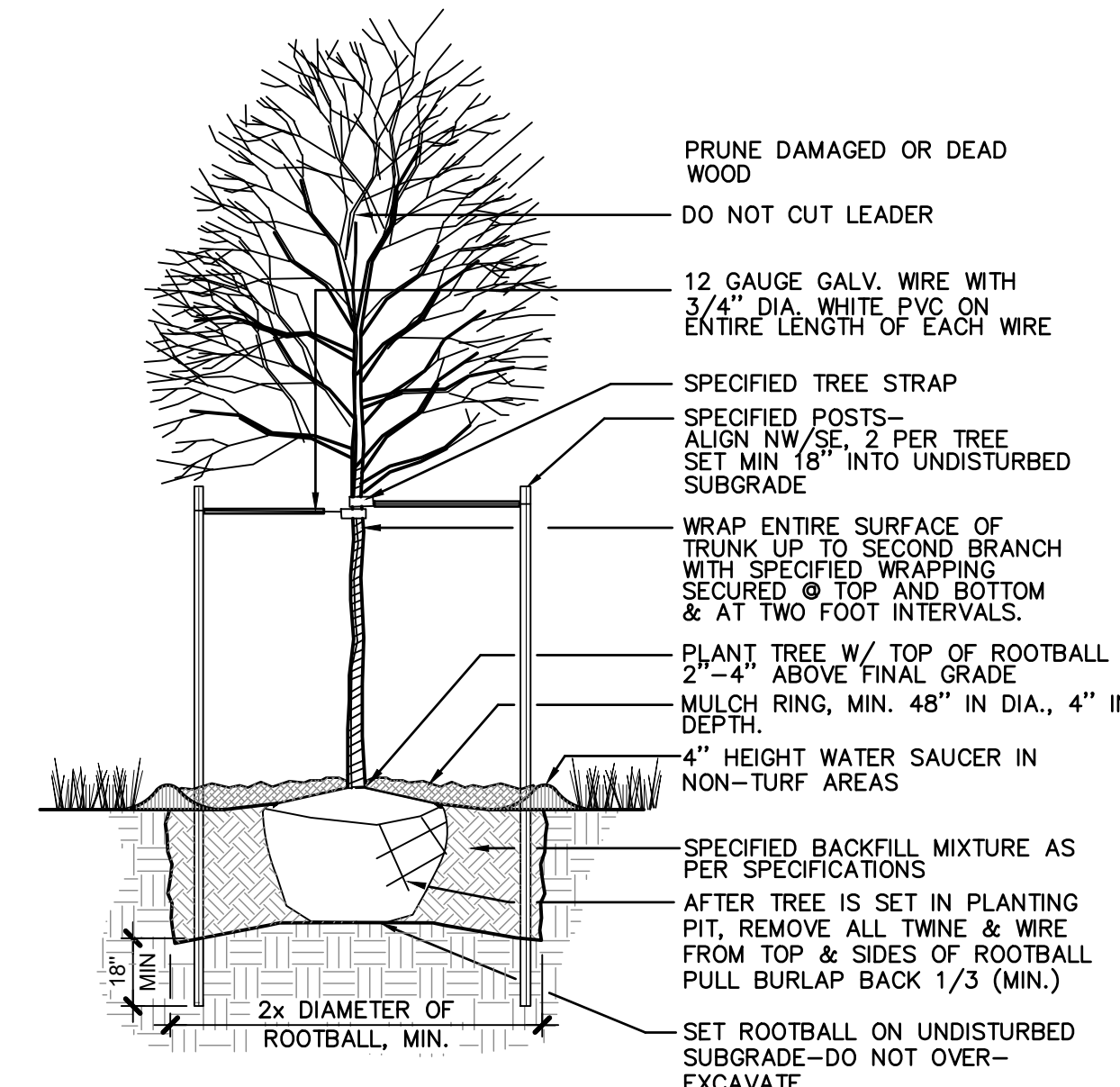
NOTES:

- SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
- EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
- ALL JOINTS TO BE SECURELY STAKED.
- CONTRACTOR SHALL CUT TOP EDGE(S) AS NEEDED TO BE PARALLEL WITH GRADE.

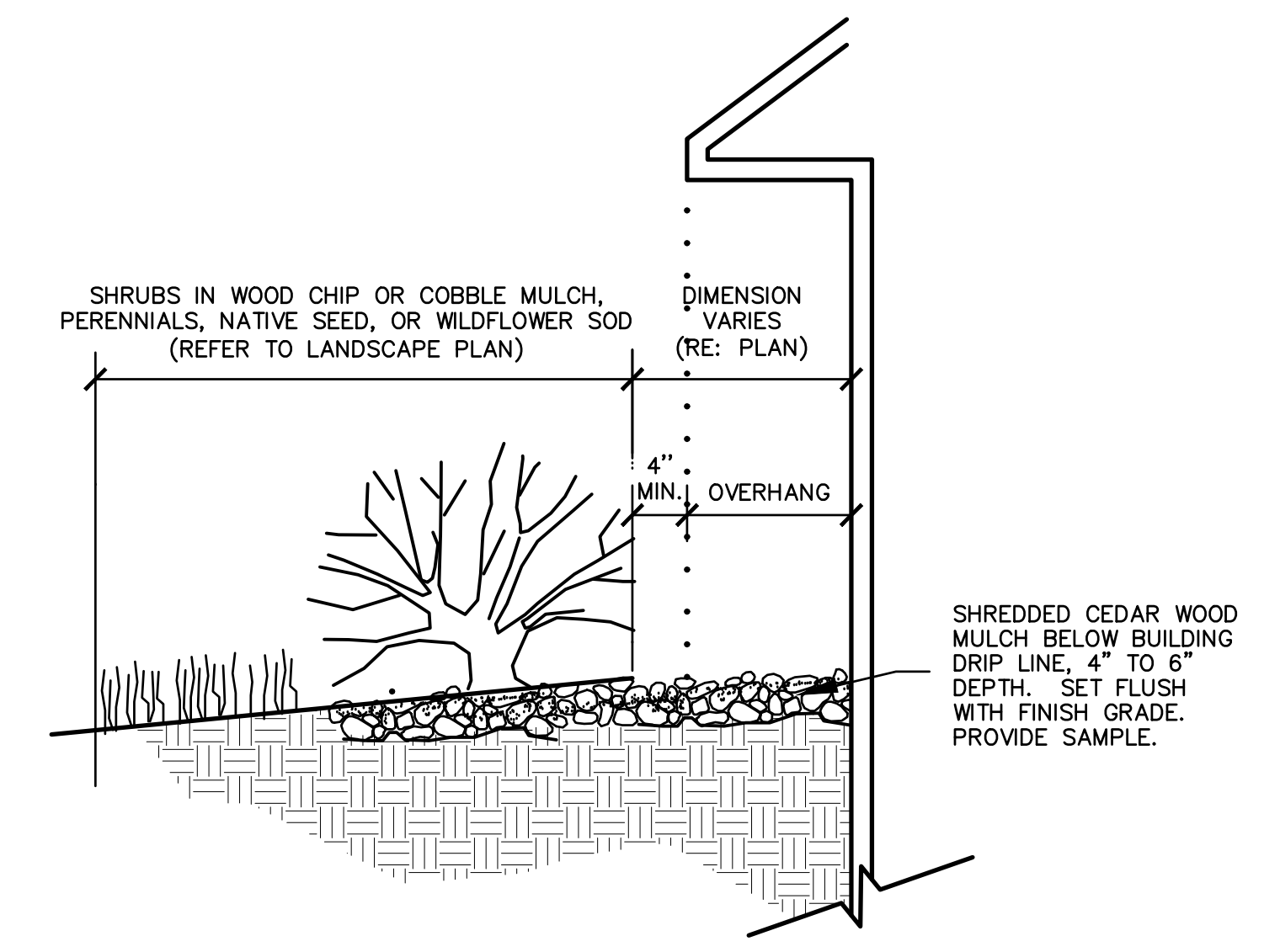
1 STEEL EDGER
L2 NOT TO SCALE



2 SHRUB PLANTING
L2 NOT TO SCALE



3 DECIDUOUS TREE PLANTING
L2 NOT TO SCALE



4 MULCH ARMORED DRIP LINE
L2 NOT TO SCALE

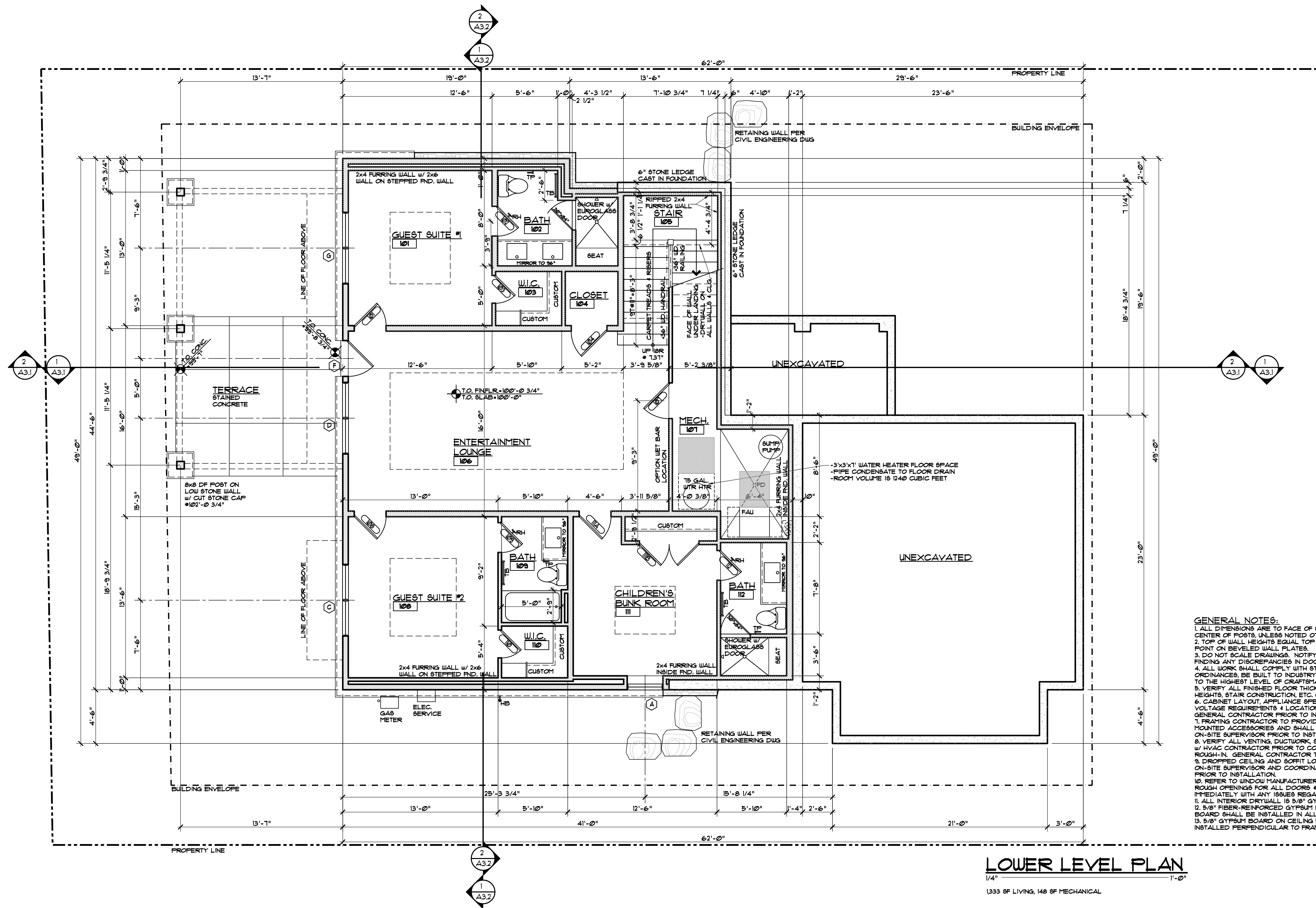


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EDWARDS, CO 81632
P. 303.572.7876
T.Townsend@ResortConceptsCO.com

MINTURN NORTH P.U.D.
 LOT 28-LANDSCAPE PLAN
 TOWN OF MINTURN, COLORADO

DESIGNED: TT
DRAWN: TT
CHECKED: RH
DATE: April 30, 2025
REVISIONS:

DRB SUBMITTAL
SHEET TITLE:
LANDSCAPE NOTES & DETAILS
SCALE: NOT TO SCALE
SHEET NUMBER:
L2



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE OR CENTER OF POSTS, UNLESS NOTED OTHERWISE.
 2. TOP OF WALL HEIGHTS EQUAL TOP OF PLAT PLATE OR LOWER POINT ON BEVELED WALL PLATES.
 3. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY UPON FINDING ANY DISCREPANCIES IN DOCUMENTS.
 4. ALL WORK SHALL COMPLY WITH STATE & LOCAL CODES AND ORDINANCES. BE BUILT TO INDUSTRY STANDARDS AND BE PERFORMED TO THE HIGHEST LEVEL OF CRAFTSMANSHIP.
 5. VERIFY ALL FINISHED FLOOR THICKNESS FOR DETERMINING MOUNTING HEIGHTS, STAIR CONSTRUCTION, ETC. (3/4" SHOWN ON PLANS MAY VARY).
 6. CABINET LAYOUT, APPLIANCE SPECIFICATIONS, AND ELECTRICAL LOAD VOLTAGE REQUIREMENTS & LOCATIONS NEED TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 7. FRAMING CONTRACTOR TO PROVIDE BLOCKING FOR ALL SURFACE MOUNTED ACCESSORIES AND SHALL COORDINATE PLACEMENT WITH ON-SITE SUPERVISOR PRIOR TO INSTALLATION.
 8. VERIFY ALL VENTING DUCTWORK SUPPLY AND RETURN AIR LOCATIONS w/ HVAC CONTRACTOR PRIOR TO COMPLETION OF FRAMING & ELECTRICAL ROUGH-IN. GENERAL CONTRACTOR TO APPROVE ALL LOCATIONS.
 9. DROPPED CEILING AND SOFFIT LOCATIONS SHALL BE APPROVED BY ON-SITE SUPERVISOR AND COORDINATED w/ M.E.P. SUB-CONTRACTORS PRIOR TO INSTALLATION.
 10. REFER TO WINDOW MANUFACTURER SHOP DRAWINGS FOR EXACT ROUGH OPENINGS FOR ALL DOORS & WINDOWS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY ISSUES REGARDING HEADERS AND/OR POSTING.
 11. ALL INTERIOR DRYWALL IS 5/8" GYPSUM BOARD UNO.
 12. 5/8" FIBER-REINFORCED GYPSUM PANELS OR FIBER-CEMENT BACKER BOARD SHALL BE INSTALLED IN ALL WET LOCATIONS BEHIND TILE.
 13. 5/8" GYPSUM BOARD ON CEILING FRAMING AT 24" O.C. MUST BE INSTALLED PERPENDICULAR TO FRAMING MEMBERS.

LOWER LEVEL PLAN
 1/4" = 1'-0"
 1333 SF LIVING, 148 SF MECHANICAL

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RESORT CONCEPTS
 225 MAIN STREET, SUITE C-101
 EDWARDS, COLORADO
 (970) 926-1720

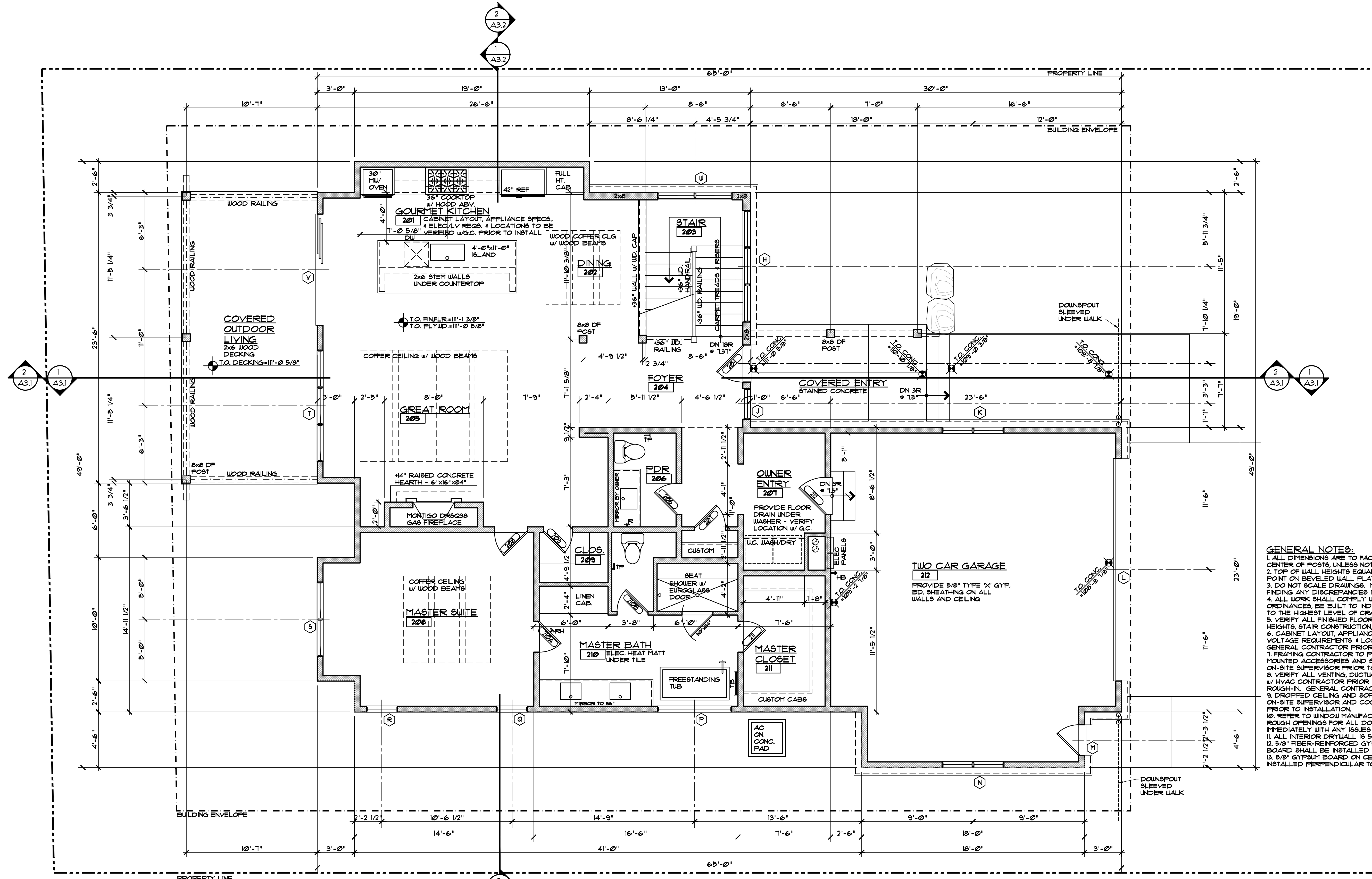
KITSON
 0071 MILES END LANE
 LOT 28, MINTURN NORTH
 MINTURN, COLORADO

PROJECT NO: 2412-22 L28

ISSUED #	DATE	BY	COMMENTS
1	4-30-25	DUE	DREB SUBMITTAL SET

A1.1

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- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE OR CENTER OF POSTS, UNLESS NOTED OTHERWISE.
 2. TOP OF WALL HEIGHTS EQUAL TOP OF FLAT PLATE OR LOWER POINT ON BEVELED WALL PLATES.
 3. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY UPON FINDING ANY DISCREPANCIES IN DOCUMENTS.
 4. ALL WORK SHALL COMPLY WITH STATE & LOCAL CODES AND ORDINANCES, BE BUILT TO INDUSTRY STANDARDS AND BE PERFORMED TO THE HIGHEST LEVEL OF CRAFTSMANSHIP.
 5. VERIFY ALL FINISHED FLOOR THICKNESS FOR DETERMINING MOUNTING HEIGHTS, STAIR CONSTRUCTION, ETC. (3/4" SHOWN ON PLANS MAY VARY).
 6. CABINET LAYOUT, APPLIANCE SPECIFICATIONS, AND ELECTRICAL/LOW VOLTAGE REQUIREMENTS & LOCATIONS NEED TO BE VERIFIED BY GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 7. FRAMING CONTRACTOR TO PROVIDE BLOCKING FOR ALL SURFACE MOUNTED ACCESSORIES AND SHALL COORDINATE PLACEMENT WITH ON-SITE SUPERVISOR PRIOR TO INSTALLATION.
 8. VERIFY ALL VENTING, DUCTWORK, SUPPLY AND RETURN AIR LOCATIONS w/ HVAC CONTRACTOR PRIOR TO COMPLETION OF FRAMING & ELECTRICAL ROUGH-IN. GENERAL CONTRACTOR TO APPROVE ALL LOCATIONS.
 9. DROPPED CEILING AND SOFFIT LOCATIONS SHALL BE APPROVED BY ON-SITE SUPERVISOR AND COORDINATED w/ M.E.P. SUB-CONTRACTORS PRIOR TO INSTALLATION.
 10. REFER TO WINDOW MANUFACTURER SHOP DRAWINGS FOR EXACT ROUGH OPENINGS FOR ALL DOORS & WINDOWS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY ISSUES REGARDING HEADERS AND/OR POSTING.
 11. ALL INTERIOR DRYWALL IS 5/8" GYPSUM BOARD, UNO.
 12. 5/8" FIBER-REINFORCED GYPSUM PANELS OR FIBER-CEMENT BACKER BOARD SHALL BE INSTALLED IN ALL WET LOCATIONS BEHIND TILE.
 13. 5/8" GYPSUM BOARD ON CEILING FRAMING AT 24" O.C. MUST BE INSTALLED PERPENDICULAR TO FRAMING MEMBERS.

MAIN LEVEL PLAN
 1/4" = 1'-0"
 1642 SF LIVING + 622 SF GARAGE

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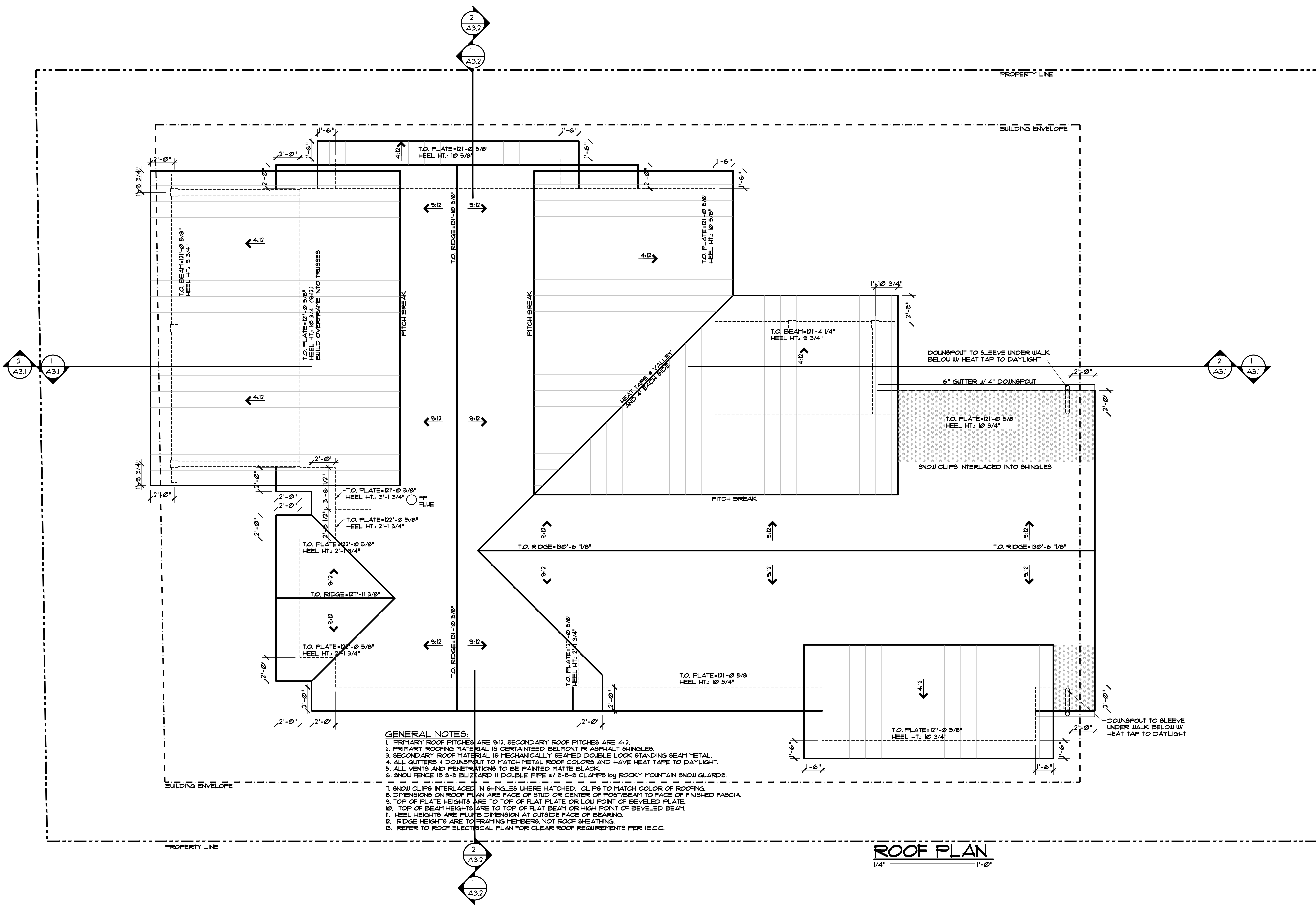
PROJECT NO: 2412-22 L28

ISSUED #	DATE	BY	COMMENTS
1	4-30-25	DUE	DREB SUBMITTAL SET

A1.2

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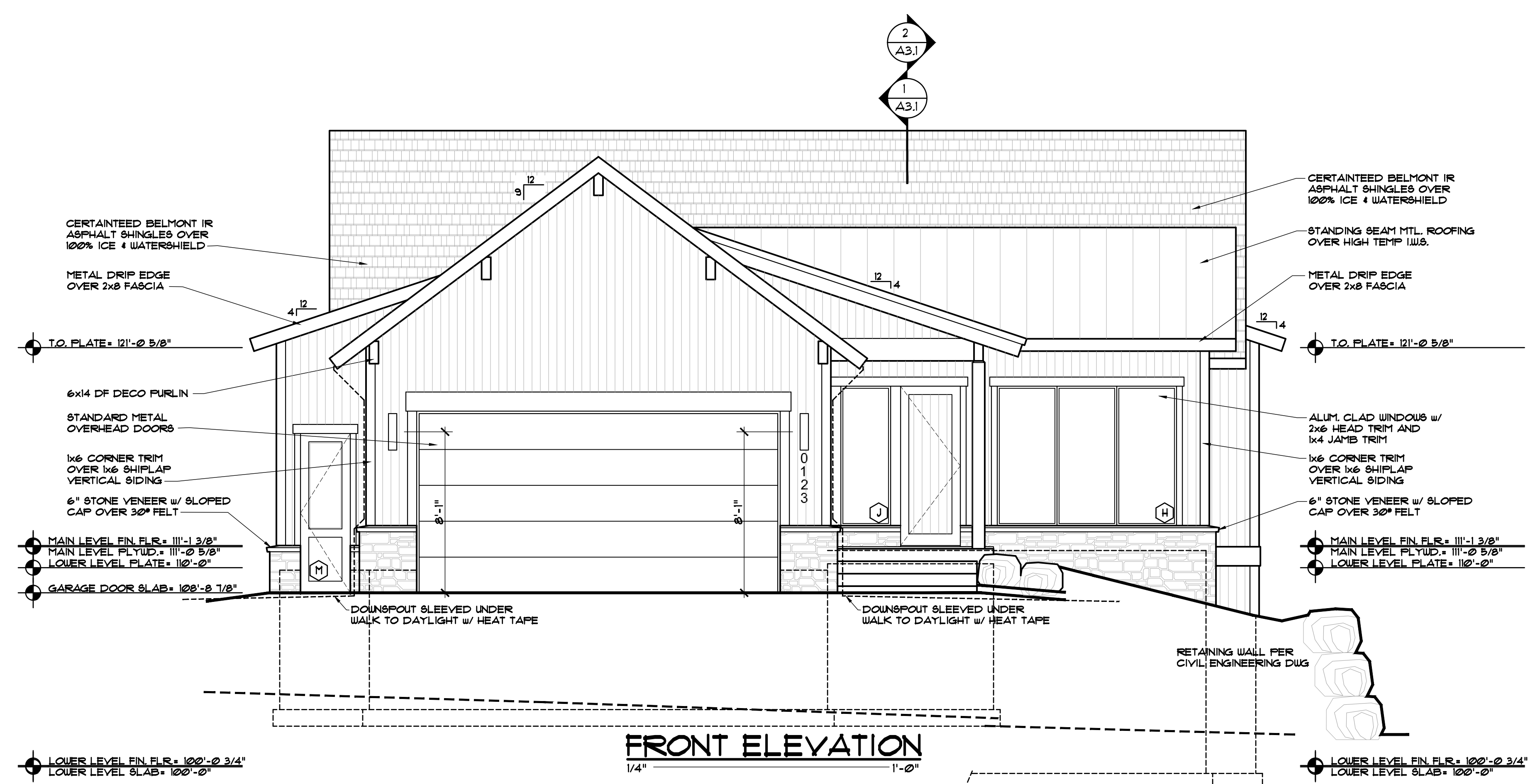
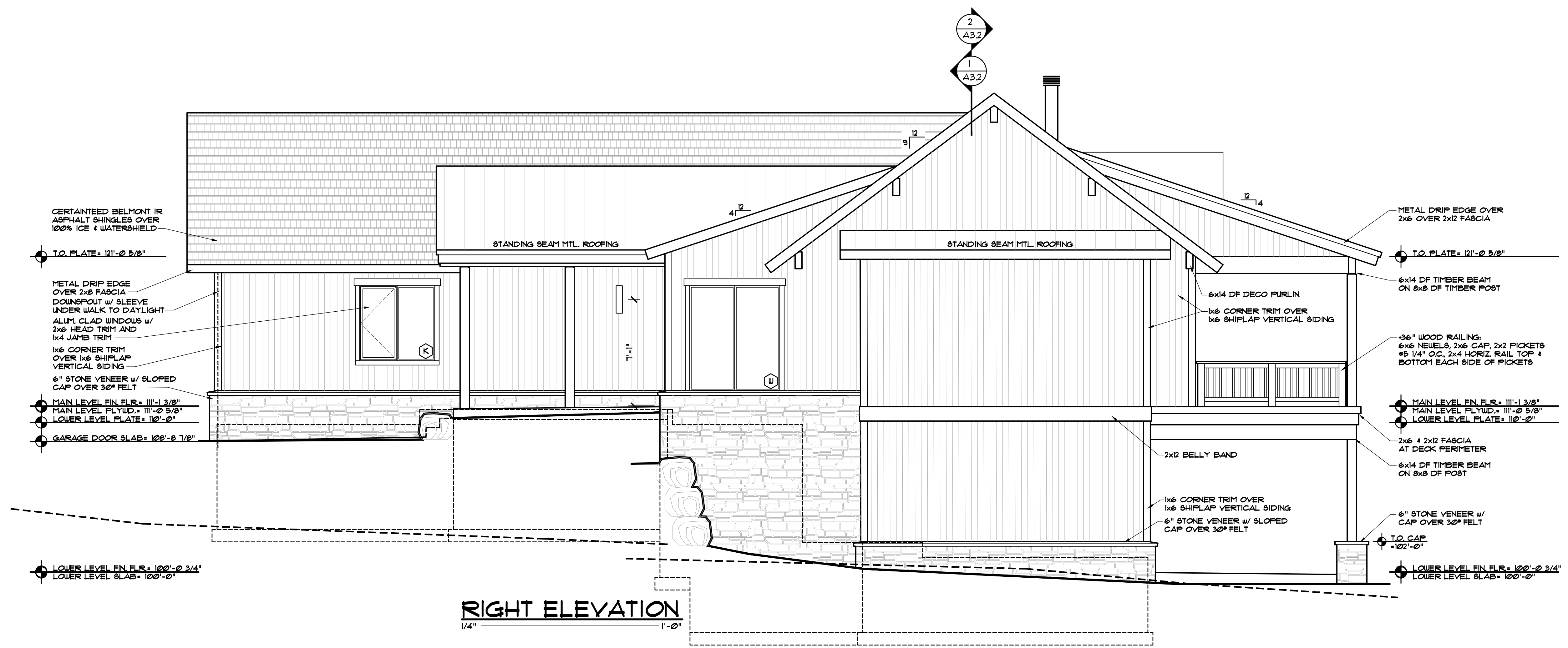
ISSUED #	DATE	BY	COMMENTS
1	4-30-25	DUE	DREB SUBMITTAL SET



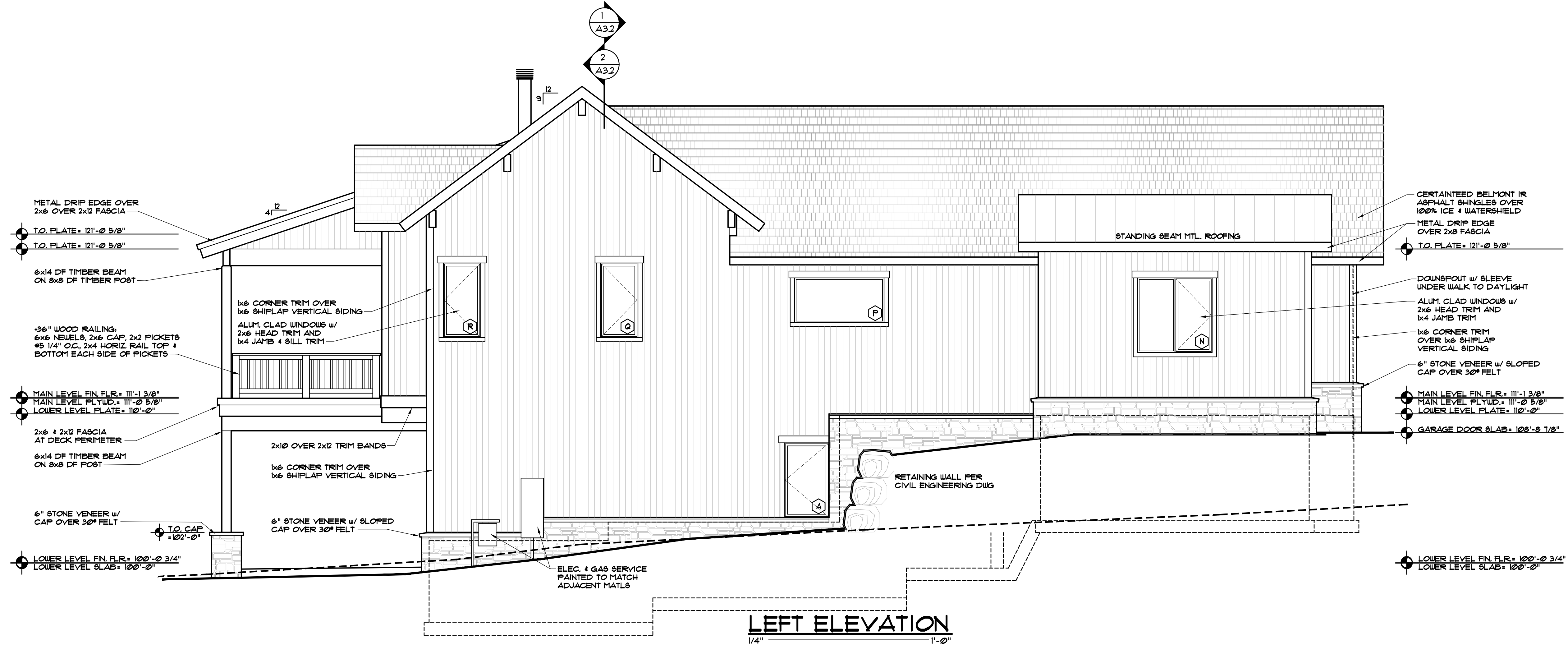
- GENERAL NOTES:**
1. PRIMARY ROOF PITCHES ARE 9:12, SECONDARY ROOF PITCHES ARE 4:12.
 2. PRIMARY ROOFING MATERIAL IS CERTAINTED BELMONT IR ASPHALT SHINGLES.
 3. SECONDARY ROOF MATERIAL IS MECHANICALLY BEAMED DOUBLE LOCK STANDING SEAM METAL.
 4. ALL GUTTERS & DOWNSPOUT TO MATCH METAL ROOF COLORS AND HAVE HEAT TAP TO DAYLIGHT.
 5. ALL VENTS AND PENETRATIONS TO BE PAINTED MATTE BLACK.
 6. SNOW FENCE IS 5-5 BLIZZARD II DOUBLE PIPE w/ 5-5-5 CLAMPS BY ROCKY MOUNTAIN SNOW GUARDS.
 7. SNOW CLIPS INTERLACED IN SHINGLES WHERE HATCHED. CLIPS TO MATCH COLOR OF ROOFING.
 8. DIMENSIONS ON ROOF PLAN ARE FACE OF STUD OR CENTER OF POST/BEAM TO FACE OF FINISHED FASCIA.
 9. TOP OF PLATE HEIGHTS ARE TO TOP OF FLAT PLATE OR LOW POINT OF BEVELED PLATE.
 10. TOP OF BEAM HEIGHTS ARE TO TOP OF FLAT BEAM OR HIGH POINT OF BEVELED BEAM.
 11. HEEL HEIGHTS ARE PLUMB DIMENSION AT OUTSIDE FACE OF BEARING.
 12. RIDGE HEIGHTS ARE TO FRAMING MEMBERS, NOT ROOF SHEATHING.
 13. REFER TO ROOF ELECTRICAL PLAN FOR CLEAR ROOF REQUIREMENTS PER I.E.C.C.

ROOF PLAN
 1/4" = 1'-0"

ISSUED #	DATE	BY	COMMENTS
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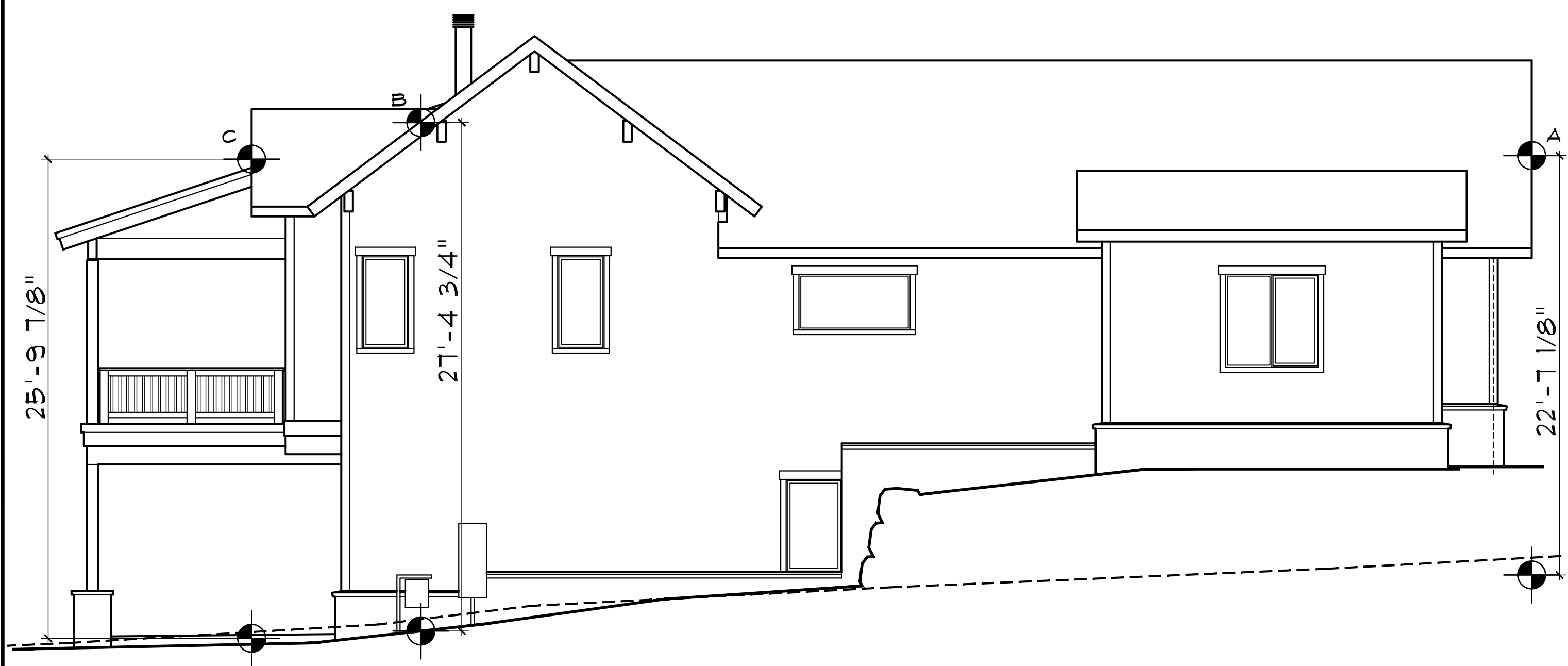
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PROJECT NO: 2412-22 L28

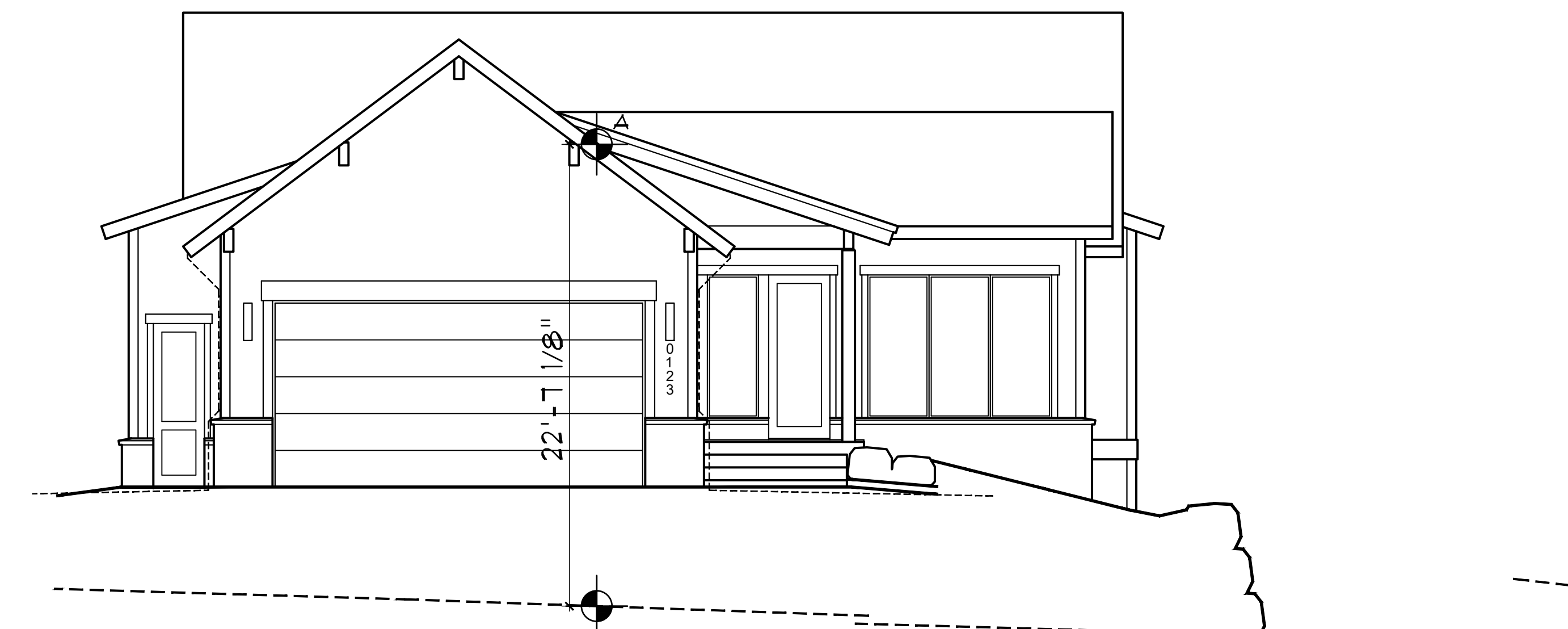
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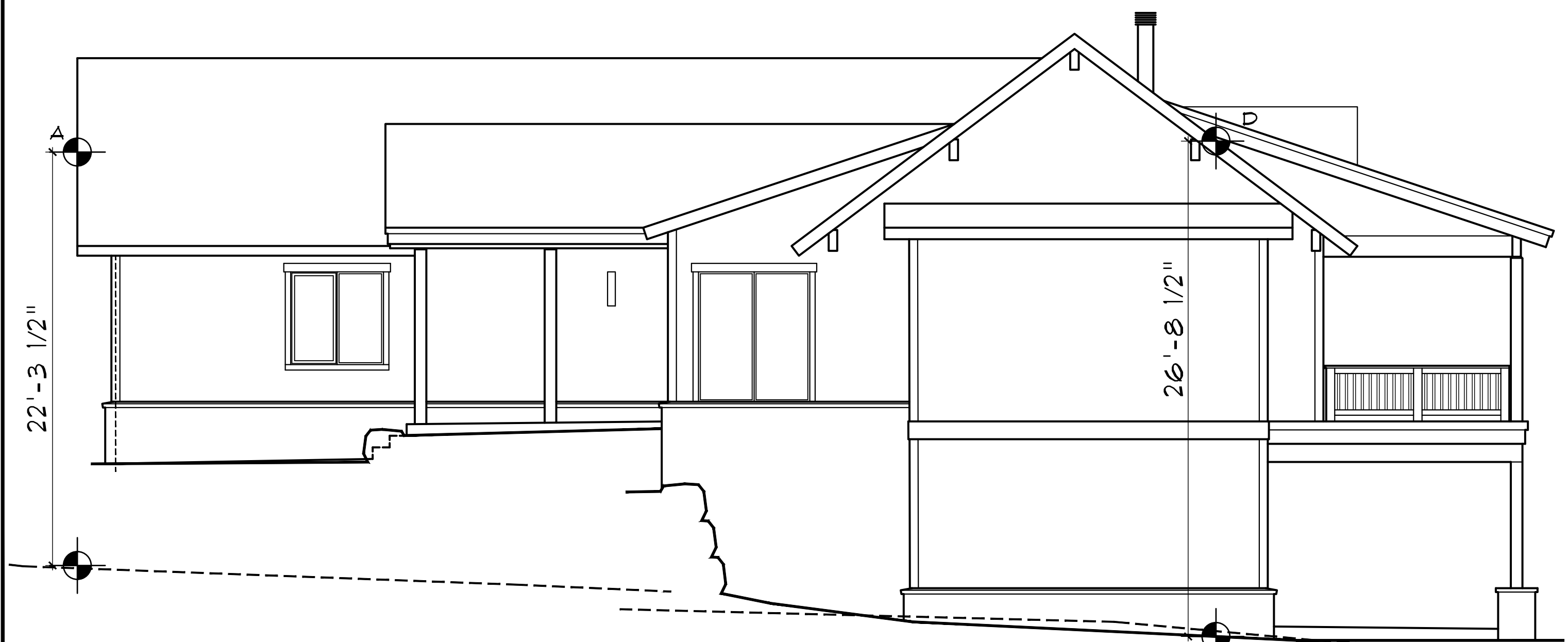
DISCLAIMER: ALL PLANS, RENDERINGS, SPECIFICATIONS AND MARKETING MATERIALS ARE SUBJECT TO REVISIONS AND MODIFICATIONS AT DEVELOPERS SOLE DISCRETION. THIS SET OF PLANS IS BASED ON THE ASSUMED GRADE CONDITIONS, AVAILABILITY OF MATERIALS, AVAILABILITY OF LABOR, MANUFACTURER SUPPLY SHORTAGES, AND GOVERNMENTAL AGENCY CHANGES. ALL PLANS AND SPECIFICATIONS ARE SUBJECT TO REVISIONS AND CONDITIONS OF APPROVAL BY THE TOWN OF MINTURN CITY COUNCIL, TOWN OF MINTURN DESIGN REVIEW BOARD, TOWN OF MINTURN BUILDING PERMIT DEPARTMENT AND ALL OTHER APPLICABLE REGULATORY AGENCIES. ARTIST RENDERINGS HAVE BEEN PROVIDED FOR ILLUSTRATIVE AND MARKETING PURPOSES ONLY AND SHOULD NOT BE RELIED UPON AS A BASIS FOR PURCHASING. COLOR, MATERIALS AND DESIGN ELEMENTS ARE SUBJECT TO REFINEMENT AND REVISION WITHOUT NOTICE AT DEVELOPERS SOLE DISCRETION.



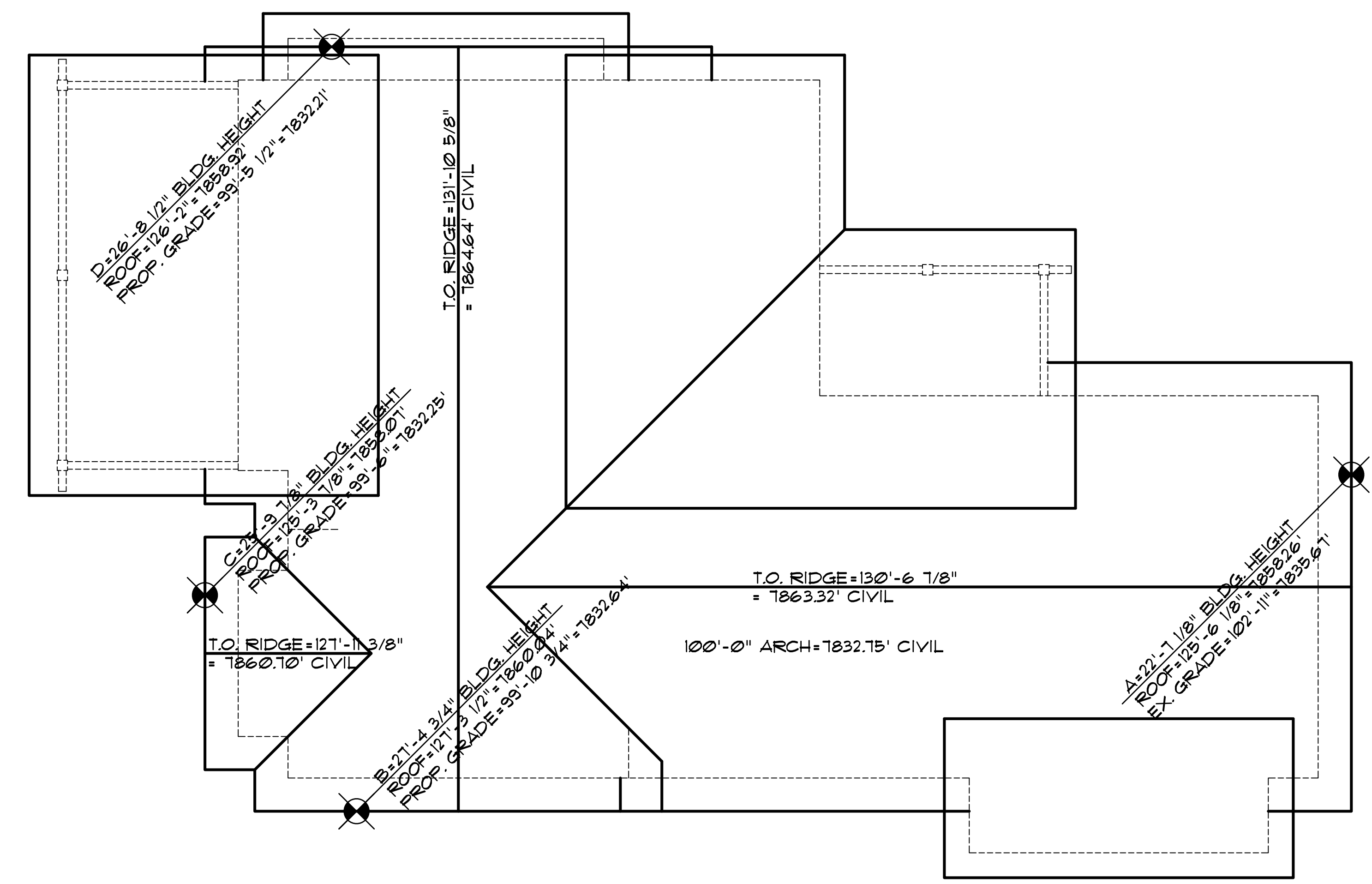
LEFT ELEVATION
1/4" = 1'-0"



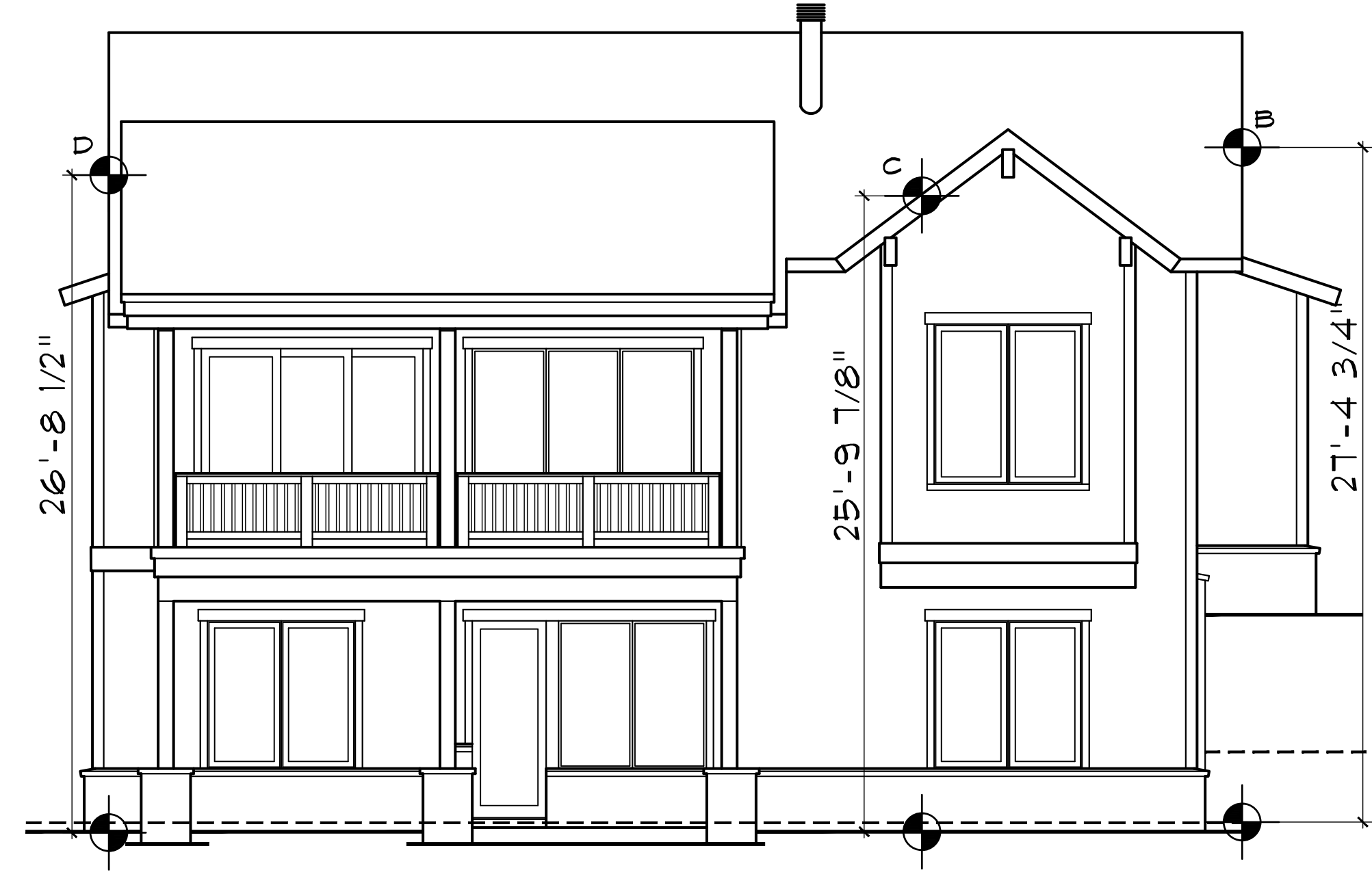
FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

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BH1

PERSPECTIVE 1
OPTION B



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MINTURN NORTH - LOT 28

DRB DESIGN REVIEW - 3D VIEWS

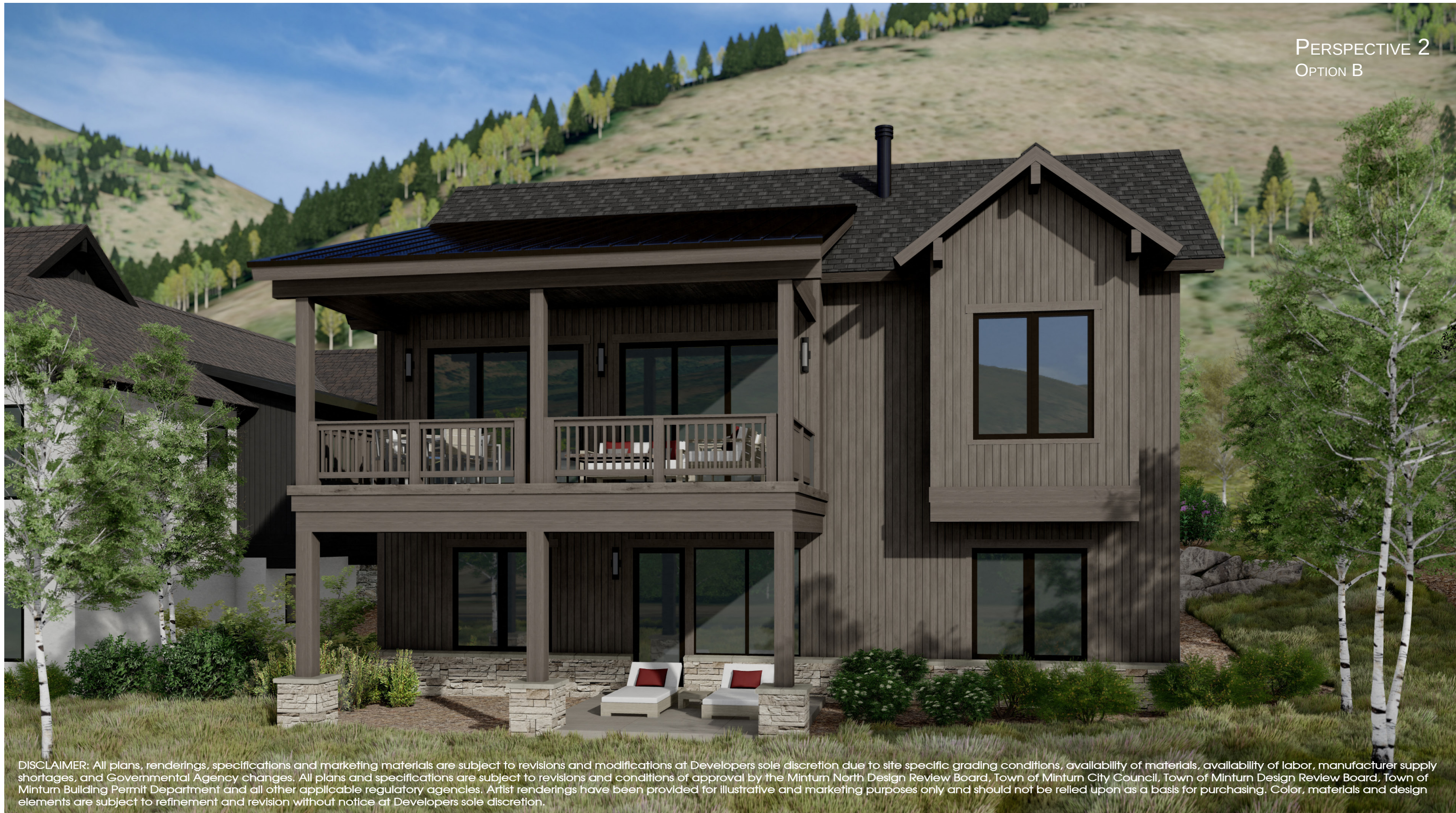
MAY 15, 2025

EGGERS
ARCHITECTURE, INC

AXISVU
DESIGN



RESORT CONCEPTS



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MINTURN NORTH - LOT 28

DRB DESIGN REVIEW - 3D VIEWS

MAY 15, 2025

EGGERS
ARCHITECTURE, INC

AXISVU
DESIGN

 RESORT CONCEPTS



Terraces & Walkways
Stained Concrete



Exterior Stone
Colorado Buff



Vertical Siding
1"x8" – Butt Joint, Rough
Color: Custom Stain



Columns, Fascia & Soffits
1"x8" – Butt Joint, Rough
Color: Custom Stain



Wood Columns per Plan
Color: Custom Stain



Roofing
Mfg: CertainTeed Belmont
Asphalt Shingles
Color: Shadow Gray



Roofing
Standing Seam Metal
Color: Bronze



Garage Door
9'-0" x 18'-0" Insulated Wood
Color: Custom Stain



Windows and Doors
Mfg: Sierra Pacific
Color: Bronze



Exterior Lighting
Mfg: Hinkley Mist 22" Sconce
Color: Bronze



Entry Door
Solid Wood
Color: Custom Stain



Entry Door Hardware
Ashley Norton Full Plate with
Helios Interior Lever
Color: Bronze



Town Council
Mayor – Earle Bidez
Mayor Pro Tem – Eric Gotthelf
Council Members:
Tom Priest
Lynn Feiger
Gusty Kanakis
Brian Rodine
Kate Schifani

Interim Town Manager Katie Sickles
June 4, 2025 Meeting Update

Thank You!

- A. Water Treatment Plant (WTP) I am working with the EPA to get the CDS grant awarded. I will provide a review with the Water Committee and Rob on June 4.
- B. Bellm Bridge Design & Engineering: The IGA is complete. Inter-mountain has drafted RFP's for design engineers. More info on June 4.
- C. North Main Street Pedestrian Improvements (Railroad Ave): The engineer is in receipt of one bid. On the agenda.
- D. Tank #2 / Steel Bolted Tank repairs: I have asked HDR and John Volk to consider a new location in addition to a new tank. We discussed it at our regular update meeting and Jarod will draft a new proposal.
- E. Pressure Reducing Valve (PRV) Master Meter Housing upgrades: Turning over to Rob.
- F. Repaving (reconstruction) of Taylor Street: On the agenda.
- G. Little Beach Park Retaining Wall repair/replacement: Reviewing plans currently.
- H. Little Beach Park Improvements and Playground: On the agenda.
- I. Main St / US HWY 24 Phase II Sidewalk construction: Stolfus has finished the bid alternative plans and CDOT approved for advertising. Will be advertised June 2.
- J. Prepare to update the Minturn Boneyard conservation easement management plan owned by the Town of Minturn: Waiting for EVLT staff availability.
- K. Belden stormwater installation project crossing the Boneyard: I am receiving emails regarding CDOT/Forest Service permits. Turning over to Rob.
- L. Main Street-US Hwy 24/Cemetery Road Pedestrian Crossing: On the agenda.
- M. Nelson Avenue Improvement plus potential Heat Exchange: The Revitalizing Main Street grant was denied.
- N. Safe Streets For All: Deadline for SS4A implementation is June 26. Turning over to Rob.
- O. Norman Street Repaving: On the agenda.

To: Minturn Town Council
From: Jay Brunvand
Date: June 4, 2025
RE: Town Manager Update



Town Manager:

Rob was appointed on May 21 and will be present at this meeting where he will be officially sworn in by the Mayor. He has spent some time with staff over the past couple weeks and we are excited to move forward as a team. I will step back to my Clerk and Treasurer duties and will cease my interim manager agreement effective June 6. I thank the Council and staff for the help and support over the past few months as Interim Town Manager.

Seasonal Street Construction

I am sure all have noticed the construction on Hwy 24 at the “S” turns. Staff is working to provide updates on the website/newsletters and those are soon available.

- On aspect includes pot holing for a gas line that will be installed. This work should end approximately 5/30/25
- A second project in the same location will remove much of the debris from the west side of the road and clear the drains to allow better flow of water and snowmelt.
- Coming in June, construction will begin at the USFS Bridge near the interstate. This work will create an Accel/Decel lane on the river side of Hwy 24. Construction will include lane construction, single lane traffic patterns, limited access to Minturn Rd/CR 13, extension of the bike path, and paving of Minturn Rd/CR 13. The project is anticipated to last up to 90days. Limited access to Minturn Rd for heavy construction traffic and access to the Vail Boneyard will remain open, all other traffic will be diverted to town. Local access to Taylor St will be via Bellm Bridge.

Minturn Market

2025 marks the 28th anniversary of the Minturn market, hosted by the Town of Minturn. The original Eagle County market, and the local’s favorite, Minturn Market is a true family-friendly artisan market showcasing a variety of local products – food trucks, fresh produce, baked goods, art & pottery, clothing & jewelry, pet products and much more! You’ll enjoy live music, live art demonstrations, whisky and wine tastings, and a Kids Zone featuring a climbing wall, bounce house and face painting. The Minturn market takes place Saturdays, June 21st through September 6th from 9am – 2pm rain or shine, in historic downtown Minturn.

Please feel free to contact me if you have any questions or comments.